



40 RAKELY COURT, TORONTO, ON, M9C 5A5

ZONING BY-LAW AMENDMENT Version 3



2022-10-03

ONBL 18-0225

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40 RAKELY COURT - ONBL18-0225

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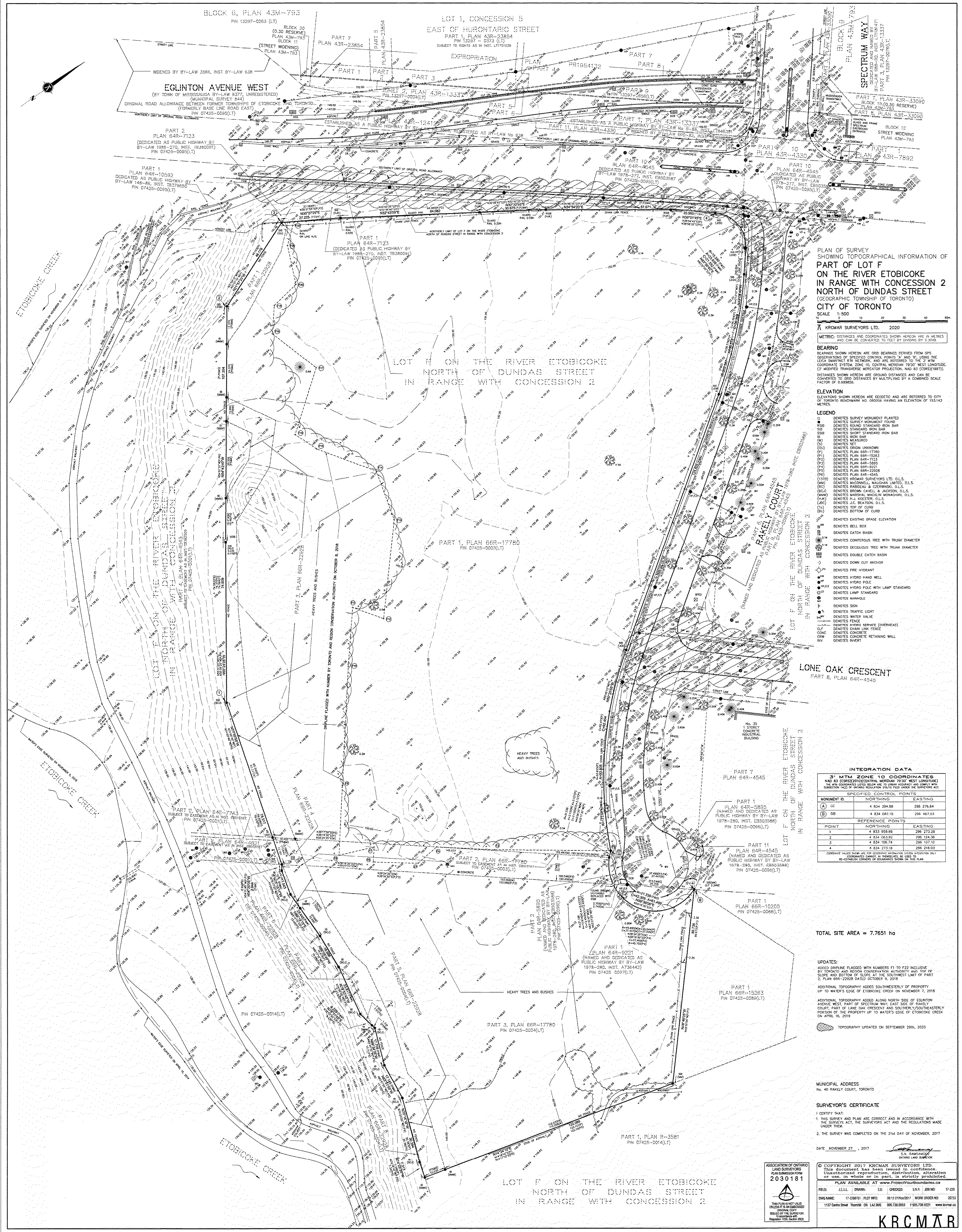
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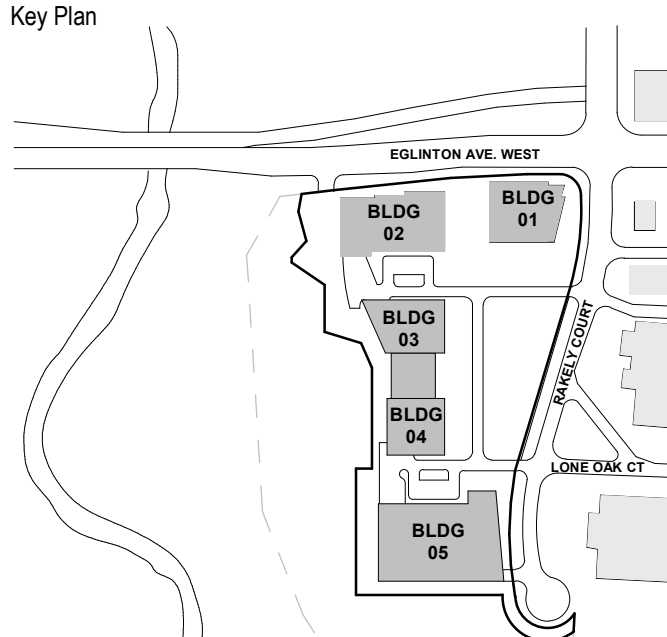
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Client
**Rakely Eglington Corporate
Centre, Limited Partnership**

Project
**40 RAKELY COURT,
TORONTO, ON, M9C 5A5**

Drawing Title
SITE SURVEY

Scale

Project No.
ONBL 18-0225

Drawing No.
A00-01

CHAPTER 200 PARKING SPACE REGULATIONS

CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (OFFICE CONSOLIDATION)
VERSION DATE: SEPTEMBER, 15, 2021

PARKING SPACES AS PER CHAPTER 200 PARKING SPACE REGULATIONS
200.5.10 PARKING RATES
TABLE 200.5.10.1 GENERAL
TABLE 200.5.10.1 PARKING SPACE RATES AND PARKING SPACE OCCUPANCY

TABLE 200.5.10.1

(2) PARKING SPACE DIMENSIONS - MINIMUM:
A PARKING SPACE IS SUBJECT TO THE FOLLOWING:

(A) A PARKING SPACE MUST HAVE THE FOLLOWING MINIMUM DIMENSIONS:

- (I) LENGTH OF 5.6 METRES;
- (II) WIDTH OF 2.6 METRES;
- (III) VERTICAL CLEARANCE OF 2.0 METRES; AND
- (IV) THE MINIMUM WIDTH IN (II) MUST BE INCREASED BY 0.3 METRES FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED ACCORDING TO (D) BELOW.

(D) THE SIDE OF A PARKING SPACE IS OBSTRUCTED IF ANY PART OF A FIXED OBJECT SUCH AS A WALL, COLUMN, BOLLARD, FENCE OR PIPE IS SITUATED:

- (I) WITHIN 0.3 METRES OF THE SIDE OF THE PARKING SPACE, MEASURED AT RIGHT ANGLES, AND
- (II) MORE THAN 1.0 METRE FROM THE FRONT OR REAR OF THE PARKING SPACE

(8) CALCULATION OF PARKING SPACE REQUIREMENT:

IF A PARKING SPACE RATE IS EXPRESSED AS A RATIO OF PARKING SPACES TO THE GROSS FLOOR AREA, THE PARKING SPACE REQUIREMENT FOR A USE IS CALCULATED BY MULTIPLYING THE GROSS FLOOR AREA OF THE USE BY THE APPLICABLE RATE FOUND IN TABLE 200.5.10.1 PARKING SPACE RATES AND PARKING SPACE OCCUPANCY.

(11) PARKING SPACE CALCULATION - GROSS FLOOR AREA EXCLUSION:

THE INTERIOR FLOOR AREA OF THAT PORTION OF A BUILDING USED EXCLUSIVELY FOR HEATING, COOLING, VENTILATION, ELECTRICAL, FIRE EMERGENCY STAIRWELLS, ELEVATOR SHAFTS, ATRIUMS, UTILITY AREAS, STORAGE AREAS IN THE BASEMENT, PARKING SPACE, LOADING SPACE, OR A DRIVE AISLE USED TO ACCESS A PARKING SPACE OR LOADING SPACE, IS NOT INCLUDED IN THE GROSS FLOOR AREA FOR THE PURPOSE OF CALCULATING PARKING SPACE REQUIREMENTS.

TABLE 200.5.10.1 PARKING SPACE RATES

OFFICE (EXCLUDING MEDICAL OFFICE)
PARKING SPACES MUST BE PROVIDED:

(D) IN ALL OTHER AREAS OF THE CITY, AT A MINIMUM RATE OF 1.5 FOR EACH 100 SQUARE METRES OF GROSS FLOOR AREA.

RETAIL STORE

PARKING SPACES MUST BE PROVIDED IF THE GROSS FLOOR AREA ON A LOT IS MORE THAN 200 SQUARE METRES:

(C) IN ALL OTHER AREAS OF THE CITY:

(I) IF THE GROSS FLOOR AREA IS MORE THAN 200 SQUARE METRES AND LESS THAN 10,000 SQUARE METRES, AT A MINIMUM RATE OF 1.5 FOR EACH 100 SQUARE METRES OF GROSS FLOOR AREA; AND

(II) IF THE GROSS FLOOR AREA IS 10,000 SQUARE METRES OR MORE BUT LESS THAN 20,000 SQUARE METRES, AT A MINIMUM RATE OF 3.0 FOR EACH 100 SQUARE METRES OF GROSS FLOOR AREA; AND

(III) IF THE GROSS FLOOR AREA IS 20,000 SQUARE METRES OR MORE, AT A MINIMUM RATE OF 6.0 FOR EACH 100 SQUARE METRES OF GROSS FLOOR AREA; AND

(D) IF THE GROSS FLOOR AREA ON A LOT IS 200 SQUARE METRES OR LESS, NO PARKING SPACE IS EQUIRED.

200.15 REGULATIONS APPLYING TO ACCESSIBLE PARKING SPACE

CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (OFFICE CONSOLIDATION)
VERSION DATE: SEPTEMBER, 15, 2021

ACCESSIBLE PARKING REQUIRED AS PER CHAPTER 200 PARKING SPACE REGULATIONS

200.15.15.4 TRANSITION: PARKING SPACE GENERAL REQUIREMENTS

3) PARKING RATES - ACCESSIBLE PARKING SPACES

IF THE TOTAL PARKING SPACE REQUIREMENT IS 5 OR MORE, CLEARLY IDENTIFIED OFF-STREET ACCESSIBLE PARKING SPACES MUST BE PROVIDED ON THE SAME LOT AS EVERY BUILDING OR STRUCTURE ERECTED OR ENLARGED, IN COMPLIANCE WITH THE FOLLOWING:

(C) IF THE NUMBER OF REQUIRED PARKING SPACES IS MORE THAN 100, A MINIMUM OF 4 PARKING SPACES PLUS 1 PARKING SPACE FOR EVERY 50 PARKING SPACES OR PART THEREOF IN EXCESS OF 100 PARKING SPACES, MUST COMPLY WITH THE MINIMUM DIMENSIONS FOR AN ACCESSIBLE PARKING SPACE. (BY-LAW 579-2017)

10 PARKING DEFINITIONS

A00-02 N.T.S.

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE.

PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE.

PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE.

PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED PAVINE SIDE PROPERTY LINE. 3m SETBACK FROM THIS PROPOSED PROPERTY LINE.

PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE. 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #

PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE

MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM

4M IN FRONT OF LANDSCAPE FEATURES ON TERRACE

B# BUILDING NUMBER

VEHICULAR ENTRANCE TO PARKING GARAGE

LOADING ENTRANCE

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

PARKING GATE

SHAMOSE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

9 PARKING DEFINITIONS

A00-02 N.T.S.

7 AREA OF PROPOSED BUILDINGS AT GROUND LEVEL

A00-02 SCALE: 1: 2000

6 PROPOSED PAVED SURFACE AREA

A00-02 SCALE: 1: 2000

5 TOTAL DEVELOPMENT SITE / NEW LOT AREA

A00-02 SCALE: 1: 2000

4 AREA BEYOND PROPOSED PROPERTY LINE

A00-02 SCALE: 1: 2000

3 TOTAL EXISTING LOT AREA

A00-02 SCALE: 1: 2000

2 SITE BOUNDARIES & PROPERTY LINES

A00-02 SCALE: 1: 2000

PROJECT STATISTICS

OWNER	RAKELY EGLINTON CORPORATE CENTRE, LIMITED PARTNERSHIP		
OWNER ADDRESS	1984 YONGE STREET, TORONTO, ON, M4S 1Z7		
LEGAL DESCRIPTION	LOT F ON THE RIVER ETOBICOKE NORTH OF DUNDAS STREET ON RANGE WITH CONCESSION 2 (GEOGRAPHIC TOWNSHIP OF TORONTO) CITY OF TORONTO		
PROPOSED DEVELOPMENT MUNICIPAL ADDRESS	40 RAKEL COURT, TORONTO, ON, M9C 5A5		
OFFICIAL PLAN DESIGNATION	EMPLOYMENT INDUSTRIAL		
SITE GRADE	152M		
CURRENT ZONING	CITY OF ETOBICOKE BY-LAW 11-737 IC1 AND BY-LAW 1988-268		
TOTAL LOT AREA (TO EXISTING PROPERTY LINE)	Hectares	m ²	Acres
DEVELOPMENT SITE AREA (PROPOSED NEW LOT AREA)	7.7652	77,652	19.188
LOT FRONTAGE (m)	3.8217	38,217	9.44
LOT DEPTH (m)	299.178	299,178	685.839

FLOOR SPACE RATIO (TOTAL GFA (ALLOWABLE) / TOTAL LOT AREA)	92.653	23.88	1.19
FLOOR SPACE RATIO (TOTAL GFA (ALLOWABLE) / DEVELOPMENT SITE AREA)	92.653	23.88	2.42
LOT COVERAGE RATIO (FOUNDATION FOOTPRINT / DEVELOPMENT SITE AREA)	28.893	7.140	0.756
LOT COVERAGE RATIO (GROUND FLOOR AREA / DEVELOPMENT SITE AREA)	13.776	3.404	0.360

SUMMARY TOTAL

	GFA (WITH DEDUCTIONS)		
	m ²	ft ²	
GFA ABOVE GRADE (WITH ALLOWABLE DEDUCTIONS)	90,776 m ²	977,104 ft ²	
GFA BELOW GRADE (WITH ALLOWABLE DEDUCTIONS)	1,877 m ²	20,200 ft ²	
GFA ABOVE & BELOW GRADE (WITH ALLOWABLE DEDUCTIONS)	92,653 m ²	997,304 ft ²	

BUILDING HEIGHT (m)*

	BUILDING	STORIES	m	ft	GEODETTIC
MEASURE TO TOP OF ROOF SLAB (WITHOUT MECHANICAL PENTHOUSE). GTAA BUILDING HEIGHT RESTRICTION: 86.40m	B1	9	37.4m	122.7ft	189.4
	B2	9	37.4m	122.7ft	189.4
	B3	6	27.0m	88.6ft	179.0
	B4	6	27.0m	88.6ft	179.0
	B5	8	33.6m	110.2ft	185.6

GFA BY USE & AS PER BUILDING (WITH ALLOWABLE DEDUCTIONS)

BUILDING #	TOTAL GFA		COM.OFFICE GFA		COM.RETAIL GFA	
	m ²	sf	m ²	sf	m ²	sf
PHASE 1						
B1	16,045 m ²	172,712 ft ²	13,693 m ²	147,387 ft ²	2,353 m ²	25,325 ft ²
B2	24,538 m ²	264,141 ft ²	20,526 m ²	220,938 ft ²	4,014 m ²	43,203 ft ²
BELOW GRADE	1,171 m ²	12,606 ft ²	822 m ²	8,852 ft ²	349 m ²	3,754 ft ²
PHASE 2	41,766 m²	449,459 ft²	35,041 m²	377,177 ft²	6,715 m²	72,282 ft²
ATRIUM	1,699 m ²	18,284 ft ²	1,699 m ²	18,284 ft ²	0 m ²	0 ft ²
B3	11,090 m ²	119,293 ft ²	9,985 m ²	107,478 ft ²	1,095 m ²	11,786 ft ²
B4	9,342 m ²	100,554 ft ²	8,492 m ²	91,405 ft ²	850 m ²	9,149 ft ²
BELOW GRADE	412 m ²	4,437 ft ²	412 m ²	4,437 ft ²	0 m ²	0 ft ²
PHASE 3	22,532 m²	242,538 ft²	20,588 m²	221,603 ft²	1,945 m²	20,935 ft²
B5	28,071 m ²	302,150 ft ²	27,464 m ²	295,615 ft ²	607 m ²	6,535 ft ²
BELOW GRADE	293 m ²	3,158 ft ²	293 m ²	3,158 ft ²	0 m ²	0 ft ²
TOTAL	92,653 m²	997,304 ft²	83,385 m²	897,553 ft²	9,267 m²	99,752 ft²

ACCESSIBILITY PARKING BREAKDOWN

Phase	PROPOSED PARKING COUNT	PARKING USE
Phase 1	3	POPs
Phase 1	15	Tenants
Phase 2	11	Tenants
Phase 3	12	Tenants
TOTALS ACCESSIBLE PARKING PROVIDED	41	

200.15.15.4 Parking Rates
(1) Parking Rates - Accessible Parking Spaces
(2) The number of required parking spaces is more than 100, a minimum of 5 parking spaces plus 1 parking space for every 50 parking spaces or part thereof in excess of 100 parking spaces, must comply with all regulations for an accessible parking space as defined in the City of Toronto Zoning By-law 2013, Chapter 200.15.15.4 (By-law 579-2017).

EVSE VEHICLE PARKING BY PHASE

(TOTAL) PROPOSED EVSE	25% REQUIRED EVSE	EVSE PROPOSED PARKING
Phase 1	705	177
Phase 2	356	89
Phase 3	425	108
TOTAL	1487	374

VEHICLE LOADING BY PHASE

PHASING	BUILDING NO.#	TYPE A	TYPE B	TYPE C	TYPE G	TOTAL
PHASE 1	B1+B2	-	3	3	-	6
PHASE 2	B3 + B4	-	3	2	-	5
PHASE 3	B5	-	3	3	-	6
TOTAL		-	9	8	-	17

BICYCLE PARKING

AS PER TORONTO GREEN STANDARDS VERSION 3.140 TO HIGH RISE RESIDENTIAL & ALL NON RESIDENTIAL LONG-TERM AND SHORT-TERM BICYCLE PARKING SPACES CONSISTENT WITH THE NON-RESIDENTIAL BICYCLE PARKING RATES IDENTIFIED WITH CHAPTER 230 OF THE CITY-WIDE ZONING LAW

COMMERCIAL RETAIL	SHORT TERM RETAIL SPACES (0.25 SPACES/100m ²) + 3 SPACES	LONG TERM SPACES (0.13 SPACES/ 100m ²)	TOTAL RETAIL REQUIRED
GFA WITH ALLOWABLE DEDUCTIONS (m ²)	23	12	53
9,267 m ²			

Level	TOTAL
LONG TERM	17
SHORT TERM	36
LEVEL P1	5
LEVEL 1	31
TOTAL PROPOSED	53

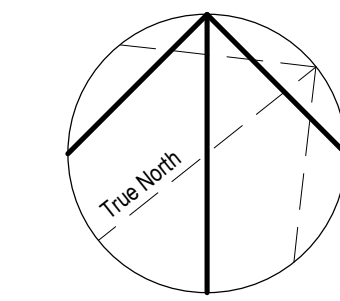
COMMERCIAL OFFICE	SHORT TERM OFFICE SPACES (0.15 SPACES/100m ²) + 3 SPACES	LONG TERM SPACES (0.13 SPACES/ m ²)	TOTAL OFFICE BIKES REQUIRED
GFA WITH ALLOWABLE DEDUCTIONS (m ²)	125	108	275
83,385 m ²			

Level	TOTAL
LONG TERM	126
SHORT TERM	149
LEVEL P1	5
TOTAL PROPOSED	275

PROJECT SITE INFORMATION

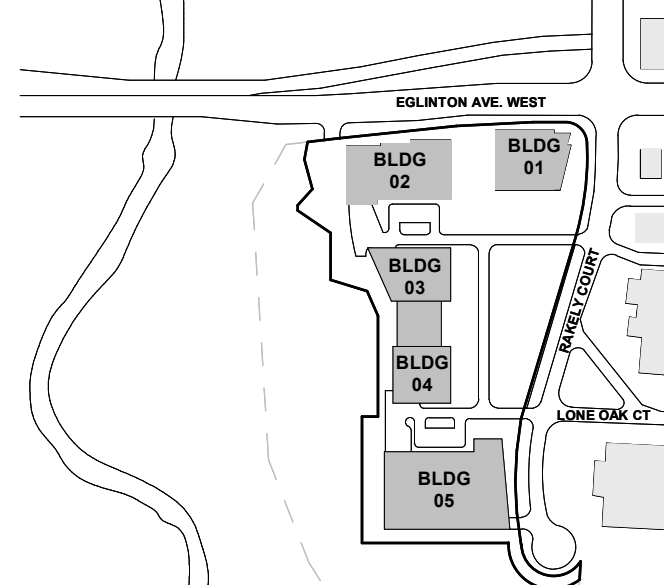
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DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT



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Key Plan



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Project

40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Drawing Title

SITE STATISTICS &
BOUNDARY PLANS

Scale

As indicated

Project No.

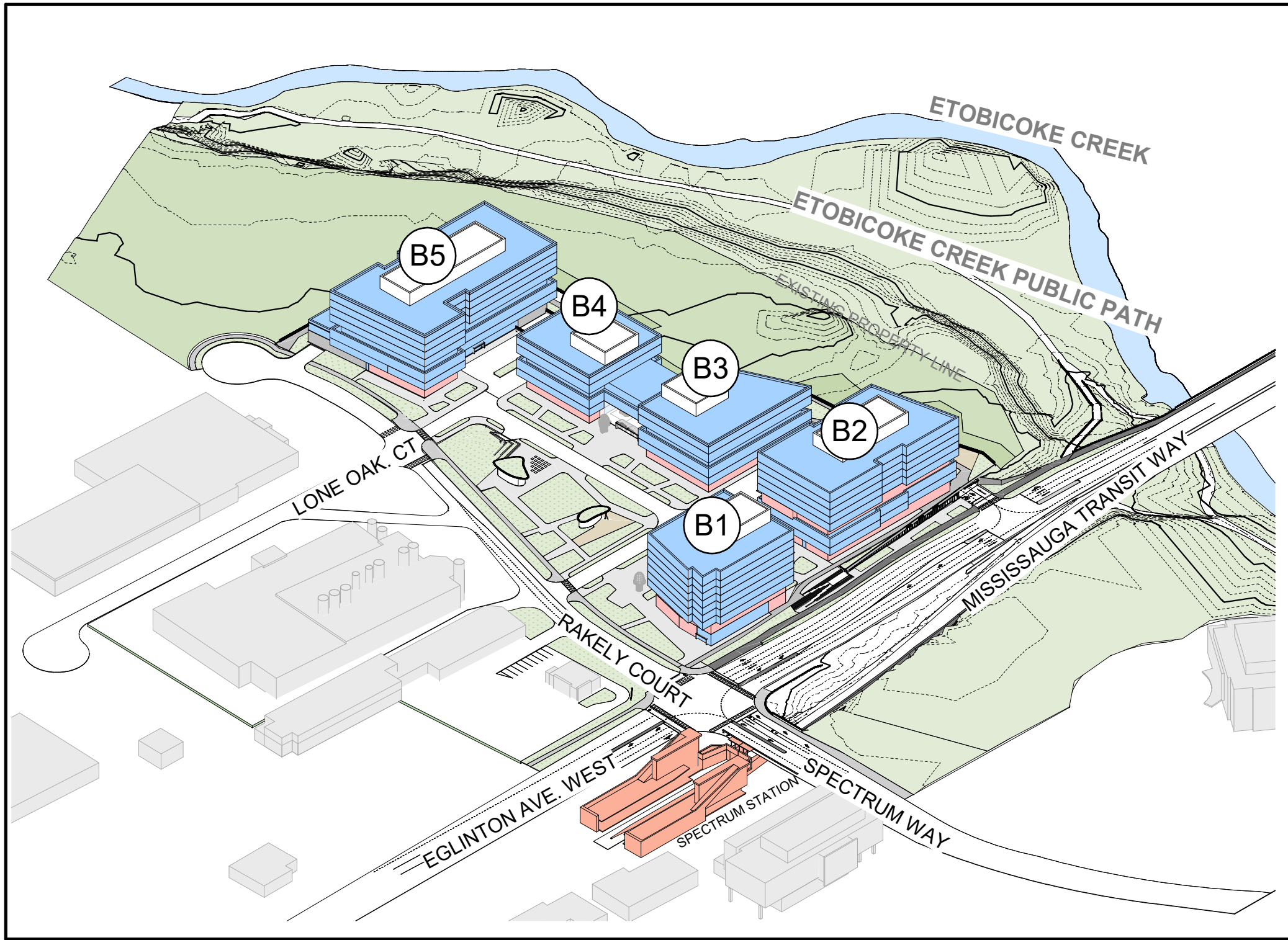
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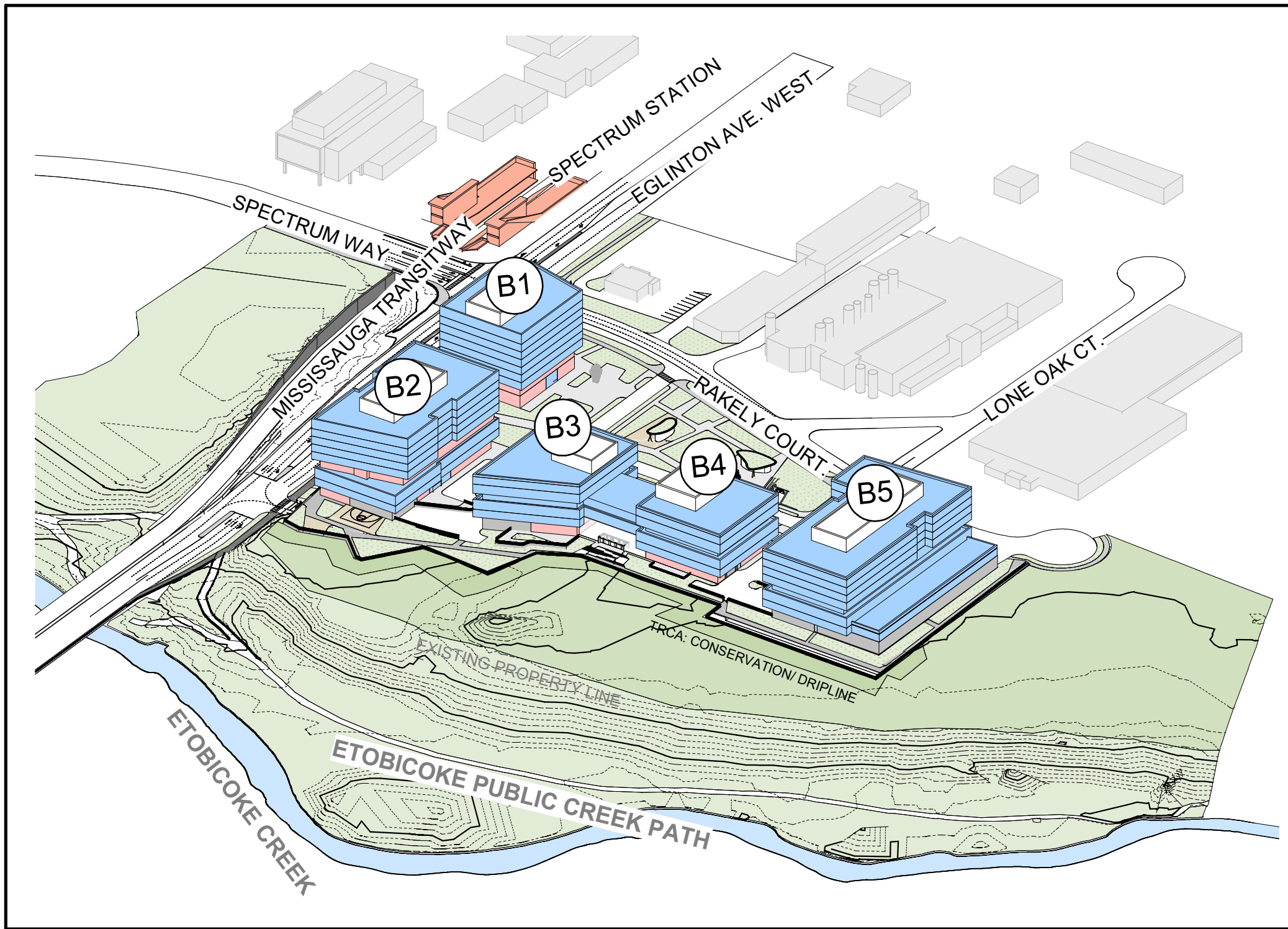
A00-02

GFA (WITHOUT DEDUCTIONS)	
CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (OFFICE CONSOLIDATION) CHAPTER 800 DEFINITIONS	
800.50 DEFINED TERMS (320) GROSS FLOOR AREA	
MEANS THE SUM OF THE TOTAL AREA OF EACH FLOOR LEVEL OF A BUILDING, ABOVE AND BELOW THE GROUND, MEASURED FROM THE EXTERIOR OF THE MAIN WALL OF EACH FLOOR LEVEL.	
GFA (WITH ALLOWABLE DEDUCTIONS)	
CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (OFFICE CONSOLIDATION) VERSION DATE : SEPTEMBER, 15, 2021	
GFA AS PER CHAPTER 800 EMPLOYMENT INDUSTRIAL 80.5 REGULATIONS APPLYING TO THE EMPLOYMENT - INDUSTRIAL ZONE CATEGORY 80.5.40.40 FLOOR AREA	
(1) GROSS FLOOR AREA CALCULATIONS FOR A NON-RESIDENTIAL BUILDING IN A EMPLOYMENT INDUSTRIAL ZONE CATEGORY, IN THE EMPLOYMENT INDUSTRIAL ZONE CATEGORY THE GROSS FLOOR AREA OF A NON-RESIDENTIAL BUILDING IS REDUCED BY THE AREA IN THE BUILDING USED FOR: (A) PARKING, LOADING AND BICYCLE PARKING BELOW-GROUND; (B) REQUIRED LOADING SPACES AT THE GROUND LEVEL AND REQUIRED BICYCLE PARKING SPACES AT OR ABOVE-GROUND; (C) STORAGE ROOMS, WASHROOMS, ELECTRICAL, UTILITY, MECHANICAL AND VENTILATION ROOMS IN THE BASEMENT; (D) VOIDS AT THE LEVEL OF EACH FLOOR WITH A MANUFACTURING USE; (E) SHOWER AND CHANGE FACILITIES REQUIRED BY THIS BY-LAW FOR REQUIRED BICYCLE PARKING SPACES; (F) ELEVATOR SHAFTS, VENTILATION DUCT, UTILITY SHAFTS; (G) UTILITY AREAS, CATWALKS, SERVICE PLATFORMS AND A MECHANICAL PENTHOUSE; AND (H) EXIT STAIRWELLS AND ESCALATORS IN THE BUILDING	
(2) FLOOR SPACE INDEX CALCULATION IN THE EMPLOYMENT INDUSTRIAL ZONE CATEGORY IN THE EMPLOYMENT INDUSTRIAL ZONE CATEGORY THE FLOOR SPACE INDEX FOR A NON-RESIDENTIAL BUILDING IS THE RESULT OF THE GROSS FLOOR AREA MINUS THE AREAS LISTED IN REGULATION 80.5.40.40 (1) DIVIDED BY THE AREA OF THE LOT.	
200.5.1.10 INTERPRETATION	
(11) PARKING SPACE CALCULATION -GROSS FLOOR AREA EXCLUSION THE INTERIOR FLOOR AREA OF THAT PORTION OF A BUILDING USED EXCLUSIVELY FOR HEATING, COOLING, VENTILATION, ELECTRICAL, FIRE EMERGENCY STAIRWELLS, ELEVATOR SHAFTS, ATRIUMS, UTILITY AREAS, STORAGE AREAS IN THE BASEMENT, PARKING SPACE, LOADING SPACE, OR A DRIVE AISLE USED TO ACCESS A PARKING SPACE OR LOADING SPACE, IS NOT INCLUDED IN THE GROSS FLOOR AREA FOR THE PURPOSE OF CALCULATING PARKING SPACE REQUIREMENTS.	

1	GFA DEFINITIONS
A00-03	N.T.S.



2	SITE PERSPECTIVE FROM RAKELY
A00-03	SCALE:



3	SITE PERSPECTIVE FROM RAVINE
A00-03	SCALE:

PHASE 1

NO#	LEVEL	TOTAL GFA (WITHOUT DEDUCTIONS)		DEDUCTIONS		GFA (WITH DEDUCTIONS)		RETAIL GFA (WITH DEDUCTIONS)		OFFICE GFA (WITH DEDUCTIONS)		PARKING RATE		
		m²	sf²	m²	sf²	m²	sf²	m²	sf²	m²	sf²	RETAIL (1.5 STALLS/ 100 m²)	OFFICE (1.5 STALLS/ 100 m²)	TOTAL PARKING REQUIRED
PHASE 1														
B1	LEVEL 1	1,680 m²	18,080 ft²	475 m²	5,115 ft²	1,204 m²	12,964 ft²	951 m²	10,239 ft²	253 m²	2,726 ft²	14	4	18
B1	LEVEL 2	1,682 m²	18,102 ft²	280 m²	3,015 ft²	1,402 m²	15,087 ft²	1,402 m²	15,087 ft²	0 m²	0 ft²	21	0	21
B1	LEVEL 3	2,102 m²	22,622 ft²	182 m²	1,957 ft²	1,920 m²	20,666 ft²	0 m²	0 ft²	1,920 m²	20,666 ft²	0	29	29
B1	LEVEL 4	2,102 m²	22,622 ft²	182 m²	1,957 ft²	1,920 m²	20,666 ft²	0 m²	0 ft²	1,920 m²	20,666 ft²	0	29	29
B1	LEVEL 5	2,102 m²	22,622 ft²	182 m²	1,957 ft²	1,920 m²	20,666 ft²	0 m²	0 ft²	1,920 m²	20,666 ft²	0	29	29
B1	LEVEL 6	2,102 m²	22,622 ft²	182 m²	1,957 ft²	1,920 m²	20,666 ft²	0 m²	0 ft²	1,920 m²	20,666 ft²	0	29	29
B1	LEVEL 7	2,102 m²	22,622 ft²	182 m²	1,957 ft²	1,920 m²	20,666 ft²	0 m²	0 ft²	1,920 m²	20,666 ft²	0	29	29
B1	LEVEL 8	2,102 m²	22,622 ft²	182 m²	1,957 ft²	1,920 m²	20,666 ft²	0 m²	0 ft²	1,920 m²	20,666 ft²	0	29	29
B1	LEVEL 9	2,102 m²	22,622 ft²	182 m²	1,957 ft²	1,920 m²	20,666 ft²	0 m²	0 ft²	1,920 m²	20,666 ft²	0	29	29
B1 ABOVE GRADE-GROSS FLOOR AREA		18,073 m²	194,539 ft²	2,028 m²	21,826 ft²	16,045 m²	172,712 ft²	2,353 m²	25,325 ft²	13,693 m²	147,387 ft²	35	205	241
B2	LEVEL 1	2,753 m²	29,635 ft²	827 m²	8,902 ft²	1,926 m²	20,733 ft²	1,712 m²	18,431 ft²	214 m²	2,301 ft²	26	3	29
B2	LEVEL 2	3,374 m²	36,314 ft²	280 m²	3,018 ft²	3,093 m²	33,296 ft²	0 m²	0 ft²	3,093 m²	33,296 ft²	0	46	46
B2	LEVEL 3	3,374 m²	36,314 ft²	280 m²	3,018 ft²	3,093 m²	33,296 ft²	0 m²	0 ft²	3,093 m²	33,296 ft²	0	46	46
B2	LEVEL 4	2,657 m²	28,602 ft²	356 m²	3,831 ft²	2,301 m²	24,771 ft²	2,301 m²	24,771 ft²	0 m²	0 ft²	35	0	35
B2	LEVEL 5	3,143 m²	33,827 ft²	424 m²	4,561 ft²	2,719 m²	29,265 ft²	0 m²	0 ft²	2,719 m²	29,265 ft²	0	41	41
B2	LEVEL 6	3,143 m²	33,827 ft²	291 m²	3,132 ft²	2,852 m²	30,695 ft²	0 m²	0 ft²	2,852 m²	30,695 ft²	0	43	43
B2	LEVEL 7	3,143 m²	33,827 ft²	291 m²	3,132 ft²	2,852 m²	30,695 ft²	0 m²	0 ft²	2,852 m²	30,695 ft²	0	43	43
B2	LEVEL 8	3,143 m²	33,827 ft²	291 m²	3,132 ft²	2,852 m²	30,695 ft²	0 m²	0 ft²	2,852 m²	30,695 ft²	0	43	43
B2	LEVEL 9	3,143 m²	33,827 ft²	291 m²	3,132 ft²	2,852 m²	30,695 ft²	0 m²	0 ft²	2,852 m²	30,695 ft²	0	43	43
B2 ABOVE GRADE-GROSS FLOOR AREA		27,871 m²	299,999 ft²	3,331 m²	35,858 ft²	24,539 m²	264,141 ft²	4,014 m²	43,203 ft²	20,526 m²	220,938 ft²	60	308	368
BELOW GRADE	LEVEL P2	16,630 m²	179,005 ft²	16,267 m²	175,097 ft²	363 m²	3,908 ft²	0 m²	0 ft²	363 m²	3,908 ft²	0	5	5
BELOW GRADE	LEVEL P1	16,144 m²	173,775 ft²	15,336 m²	165,076 ft²	808 m²	8,698 ft²	349 m²	3,754 ft²	459 m²	4,944 ft²	5	7	12
BELOW GRADE-GROSS FLOOR AREA		32,774 m²	352,779 ft²	31,603 m²	340,173 ft²	1,171 m²	12,606 ft²	349 m²	3,754 ft²	822 m²	8,852 ft²	5	12	18
PHASE 1-TOTAL SITE GROSS FLOOR AREA		78,718 m²	847,317 ft²	36,962 m²	397,858 ft²	41,756 m²	449,459 ft²	6,715 m²	72,282 ft²	35,041 m²	377,177 ft²	101	526	626

PHASE 2

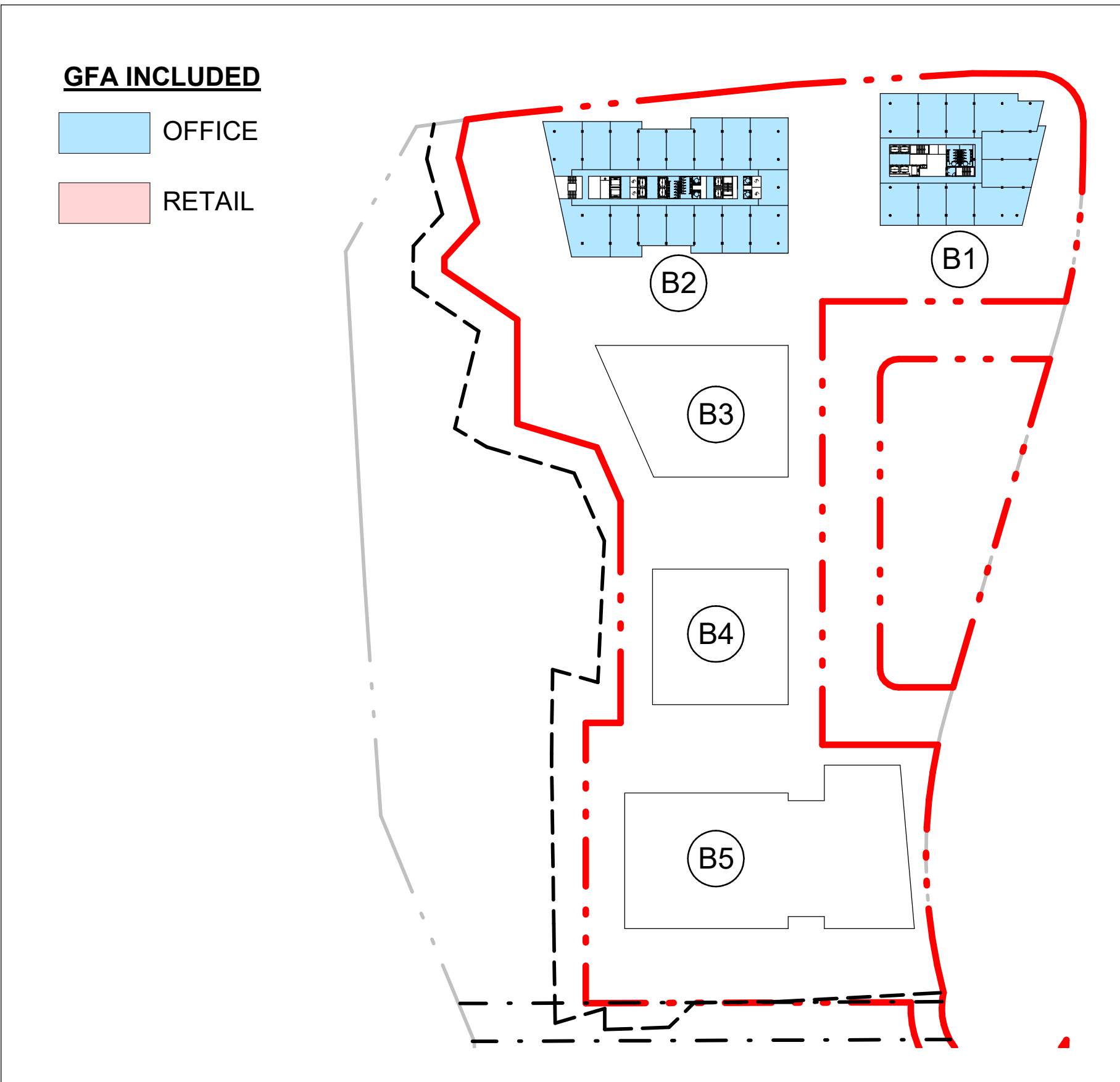
PHASE 2														
ATRIUM	LEVEL 1	1,070 m²	11,518 ft²	1,070 m²	11,518 ft²	0 m²	0 ft²	0 m²	0 ft²	0 m²	0 ft²	0	0	0
ATRIUM	LEVEL 2	916 m²	9,861 ft²	916 m²	9,861 ft²	0 m²	0 ft²	0 m²	0 ft²	0 m²	0 ft²	0	0	0
ATRIUM	LEVEL 3	916 m²	9,861 ft²	0 m²	0 ft²	916 m²	9,861 ft²	0 m²	0 ft²	916 m²	9,861 ft²	0	14	14
ATRIUM	LEVEL 4	782 m²	8,423 ft²	0 m²	0 ft²	782 m²	8,423 ft²	0 m²	0 ft²	782 m²	8,423 ft²	0	12	12
ATRIUM-GROSS FLOOR AREA		3,685 m²	39,663 ft²	1,986 m²	21,379 ft²	1,699 m²	18,284 ft²	0 m²	0 ft²	1,699 m²	18,284 ft²	0	25	25
B3	LEVEL 1	1,798 m²	19,353 ft²	678 m²	7,297 ft²	1,120 m²	12,056 ft²	1,095 m²	11,786 ft²	25 m²	270 ft²	16	0	17
B3	LEVEL 2	2,233 m²	24,034 ft²	155 m²	1,674 ft²	2,077 m²	22,360 ft²	0 m²	0 ft²	2,077 m²	22,360 ft²	0	31	31
B3	LEVEL 3	2,233 m²	24,034 ft²	155 m²	1,674 ft²	2,077 m²	22,360 ft²	0 m²	0 ft²	2,077 m²	22,360 ft²	0	31	31
B3	LEVEL 4	1,806 m²	19,439 ft²	155 m²	1,674 ft²	1,650 m²	17,766 ft²	0 m²	0 ft²	1,650 m²	17,766 ft²	0	25	25
B3	LEVEL 5	2,233 m²	24,034 ft²	155 m²	1,674 ft²	2,077 m²	22,360 ft²	0 m²	0 ft²	2,077 m²	22,360 ft²	0	31	31
B3	LEVEL 6	2,233 m²	24,034 ft²	155 m²	1,674 ft²	2,077 m²	22,360 ft²	0 m²	0 ft²	2,077 m²	22,360 ft²	0	31	31
B3 ABOVE GRADE-GROSS FLOOR AREA		12,535 m²	134,928 ft²	1,455 m²	15,665 ft²	11,080 m²	119,263 ft²	1,095 m²	11,786 ft²	9,985 m²	107,478 ft²	16	150	166
B4	LEVEL 1	1,381 m²	14,869 ft²	357 m²	3,844 ft²	1,024 m²	11,025 ft²	850 m²	9,149 ft²	174 m²	1,876 ft²	13	3	15
B4	LEVEL 2	1,901 m²	20,462 ft²	151 m²	1,624 ft²	1,750 m²	18,838 ft²	0 m²	0 ft²	1,750 m²	18,838 ft²	0	26	26
B4	LEVEL 3	1,901 m²	20,462 ft²	151 m²	1,624 ft²	1,750 m²	18,838 ft²	0 m²	0 ft²	1,750 m²	18,838 ft²	0	26	26
B4	LEVEL 4	1,468 m²	15,800 ft²	151 m²	1,624 ft²	1,317 m²	14,176 ft²	0 m²	0 ft²	1,317 m²	14,176 ft²	0	20	20
B4	LEVEL 5	1,901 m²	20,462 ft²	151 m²	1,624 ft²	1,750 m²	18,838 ft²	0 m²	0 ft²	1,750 m²	18,838 ft²	0	26	26
B4	LEVEL 6	1,901 m²	20,462 ft²	151 m²	1,624 ft²	1,750 m²	18,838 ft²	0 m²	0 ft²	1,750 m²	18,838 ft²	0	26	26
B4 ABOVE GRADE-GROSS FLOOR AREA		10,453 m²	112,516 ft²	1,111 m²	11,962 ft²	9,342 m²	100,554 ft²	850 m²	9,149 ft²	8,492 m²	91,405 ft²	13	127	140
BELOW GRADE	LEVEL P2	8,046 m²	86,607 ft²	7,901 m²	85,041 ft²	146 m²	1,566 ft²	0 m²	0 ft²	146 m²	1,566 ft²	0	2	2
BELOW GRADE	LEVEL P1	8,047 m²	86,614 ft²	7,780 m²	83,743 ft²	267 m²	2,870 ft²	0 m²	0 ft²	267 m²	2,870 ft²	0	4	4
BELOW GRADE-GROSS FLOOR AREA		16,093 m²	173,221 ft²	15,681 m²	168,784 ft²	412 m²	4,437 ft²	0 m²	0 ft²	412 m²	4,437 ft²	0	6	6
PHASE 2-TOTAL SITE GROSS FLOOR AREA		42,766 m²	460,328 ft²	20,233 m²	217,790 ft²	22,532 m²	242,538 ft²	1,945 m²	20,935 ft²	20,588 m²	221,603 ft²	29	309	338

PHASE 3

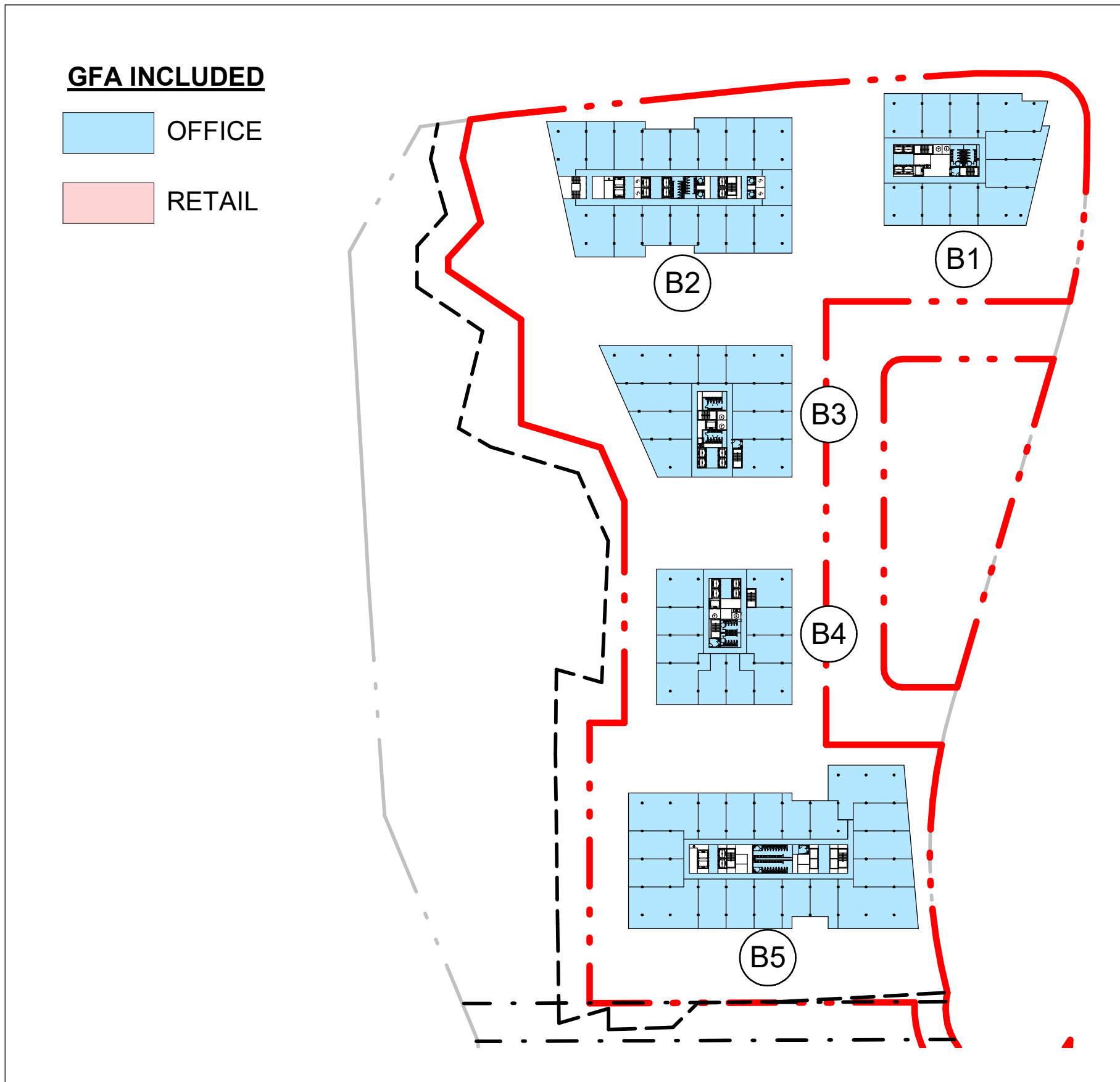
PHASE 3														
B5	LEVEL 1	4,948 m²	53,256 ft²	3,966 m²	42,694 ft²	981 m²	10,562 ft²	607 m²	6,535 ft²	374 m²	4,027 ft²	9	6	15
B5	LEVEL 2	5,463 m²	58,799 ft²	801 m²	8,626 ft²	4,661 m²	50,173 ft²	0 m²	0 ft²	4,661 m²	50,173 ft²	0	70	70
B5	LEVEL 3	4,201 m²	45,218 ft²	274 m²	2,944 ft²	3,927 m²	42,274 ft²	0 m²	0 ft²	3,927 m²	42,274 ft²	0	59	59
B5	LEVEL 4	3,352 m²	36,078 ft²	274 m²	2,944 ft²	3,078 m²	33,133 ft²	0 m²	0 ft²	3,078 m²	33,133 ft²	0	46	46
B5	LEVEL 5	4,127 m²	44,425 ft²	274 m²	2,944 ft²	3,854 m²	41,481 ft²	0 m²	0 ft²	3,854 m²	41,481 ft²	0	58	58
B5	LEVEL 6	4,130 m²	44,453 ft²	274 m²	2,944 ft²	3,856 m²	41,509 ft²	0 m²	0 ft²	3,856 m²	41,509 ft²	0	58	58
B5	LEVEL 7	4,130 m²	44,454 ft²	274 m²	2,944 ft²	3,856 m²	41,509 ft²	0 m²	0 ft²	3,856 m²	41,509 ft²	0	58	58
B5	LEVEL 8	4,130 m²	44,453 ft²	274 m²	2,944 ft²	3,856 m²	41,509 ft²	0 m²	0 ft²	3,856 m²	41,509 ft²	0	58	58
B5 ABOVE GRADE-GROSS FLOOR AREA		34,480 m²	371,137 ft²	6,409 m²	68,986 ft²	28,071 m²	302,150 ft²	607 m²	6,535 ft²	27,464 m²	295,615 ft²	9	412	421
BELOW GRADE	LEVEL P2	7,798 m²	83,934 ft²	7,647 m²	82,315 ft²	150 m²	1,619 ft²	0 m²	0 ft²	150 m²	1,619 ft²	0	2	2
BELOW GRADE	LEVEL P1	7,797 m²	83,927 ft²	7,654 m²	82,389 ft²	143 m²	1,538 ft²	0 m²	0 ft²	143 m²	1,538 ft²	0	2	2
BELOW GRADE-GROSS FLOOR AREA		15,595 m²	167,861 ft²	15,301 m²	164,704 ft²	293 m²	3,158 ft²	0 m²	0 ft²	293 m²	3,158 ft²	0	4	4
PHASE 3-TOTAL SITE GROSS FLOOR AREA		50,075 m²	538,998 ft²	21,710 m²	233,690 ft²	28,364 m²	305,308 ft²	607 m²	6,535 ft²	27,757 m²	298,773 ft²	9	416	425

TOTAL

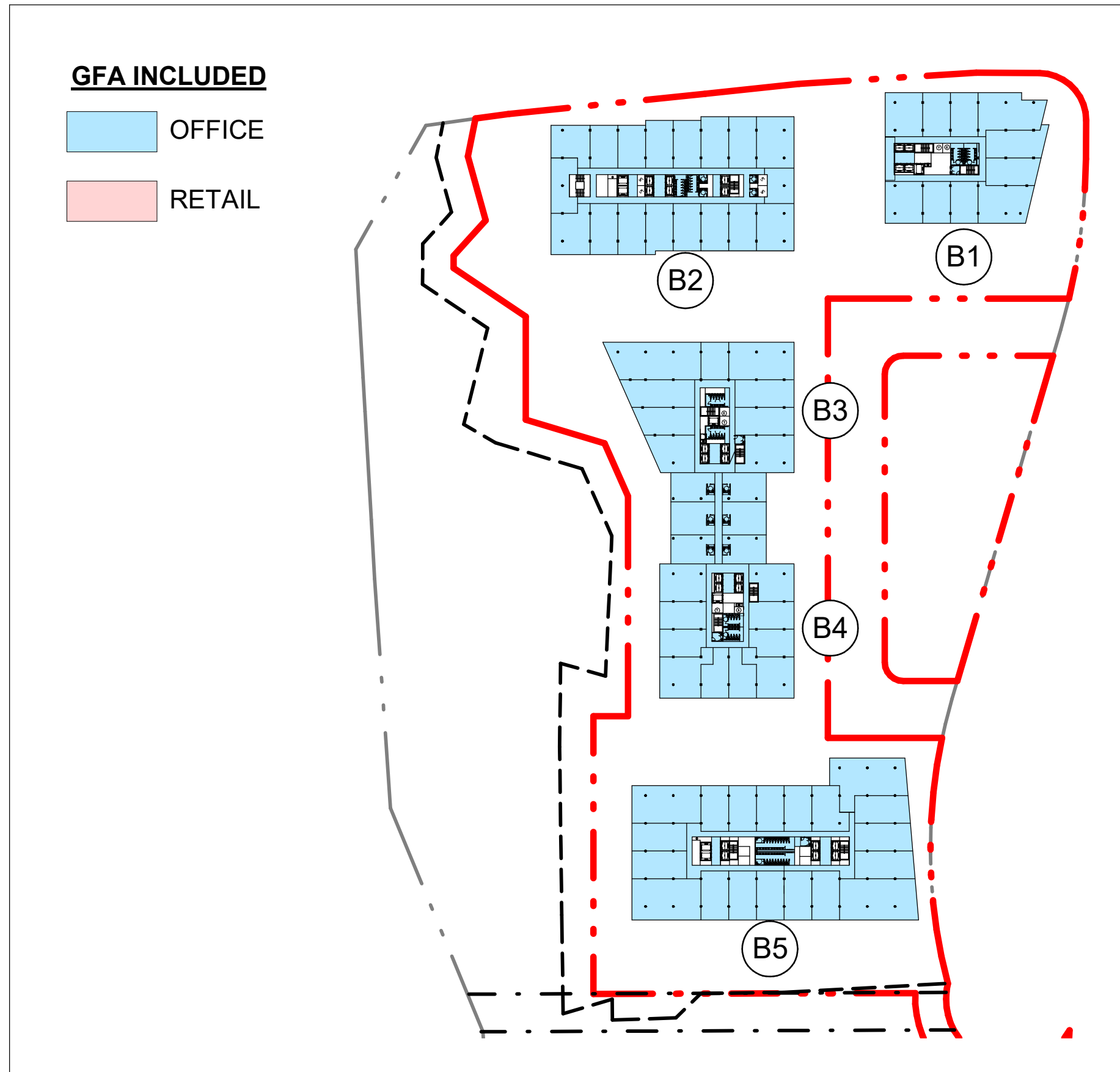
	GFA		DEDUCTIONS		GFA		RETAIL GFA		OFFICE GFA		VEHICLE PARKING RATES REQUIRED PER GFA WITH ALLOWABLE DEDUCTIONS BASED ON 1.5 PARKING STALLS PER 100m² OFFICE & 1.5 PARKING STALLS PER 100m² RETAIL
	(WITHOUT DEDUCTIONS)		m²	ft²	(WITH DEDUCTIONS)		(WITH DEDUCTIONS)		(WITH DEDUCTIONS)		
TOTAL ABOVE GRADE - GROSS FLOOR AREA	107,097 m²	1,152,781 ft²	16,321 m²	175,677 ft²	90,776 m²	977,104 ft²	8,918 m²	95,998 ft²	81,857 m²	881,106 ft²	1362



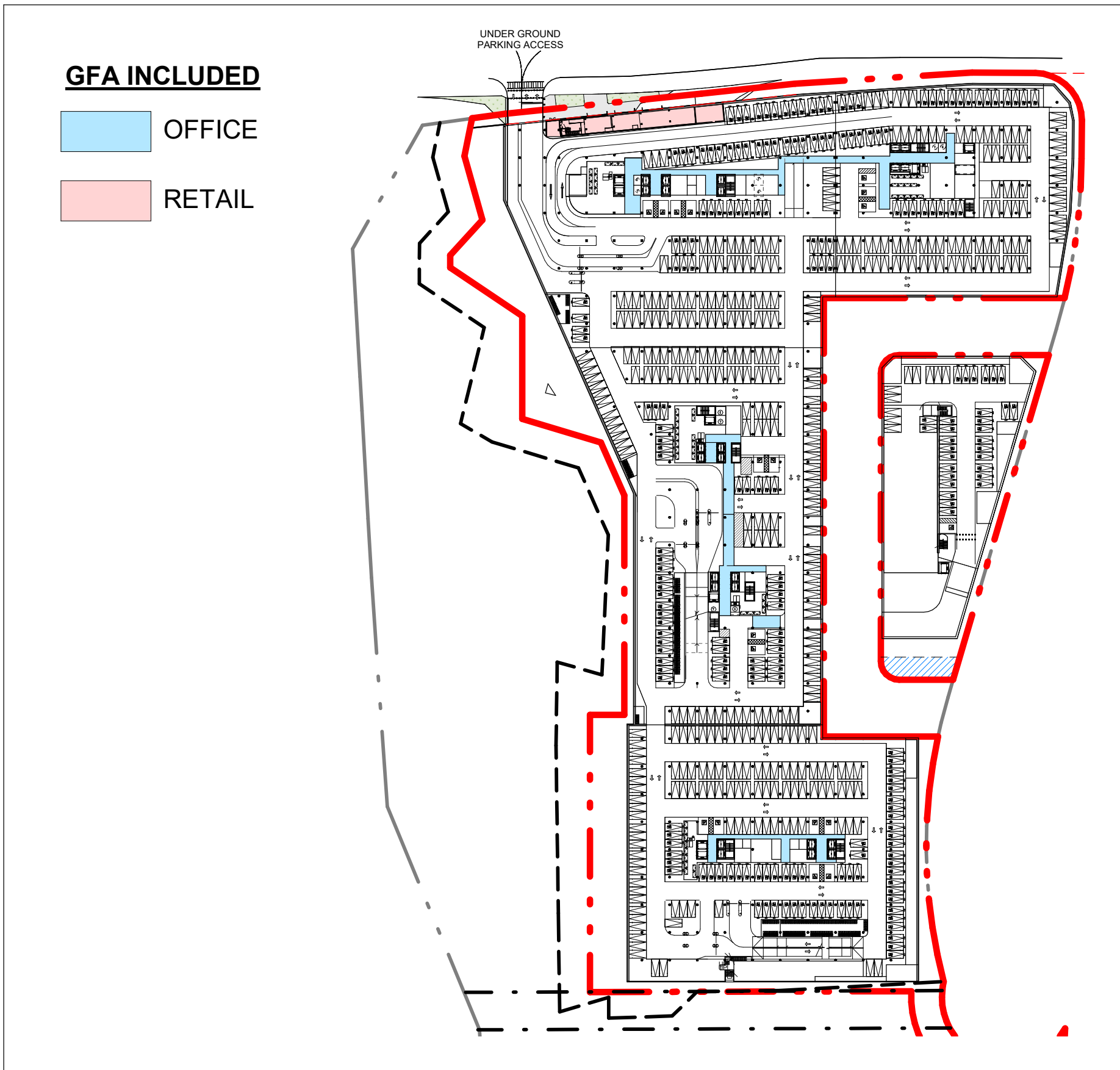
11 LEVEL 9 (STATS)_1000
A00-04 SCALE: 1: 1500



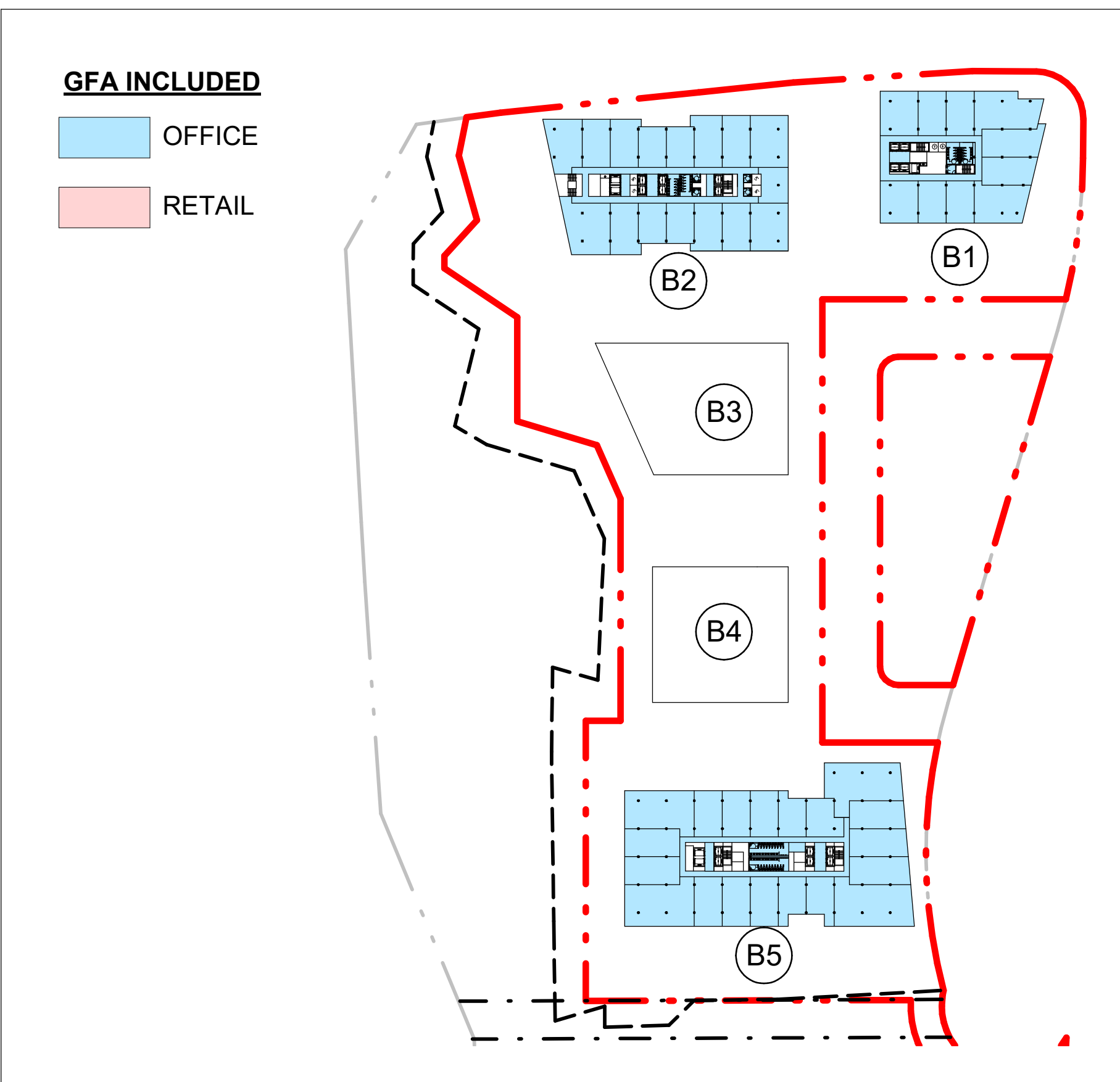
8 LEVEL 6 (STATS)_1000
A00-04 SCALE: 1: 1500



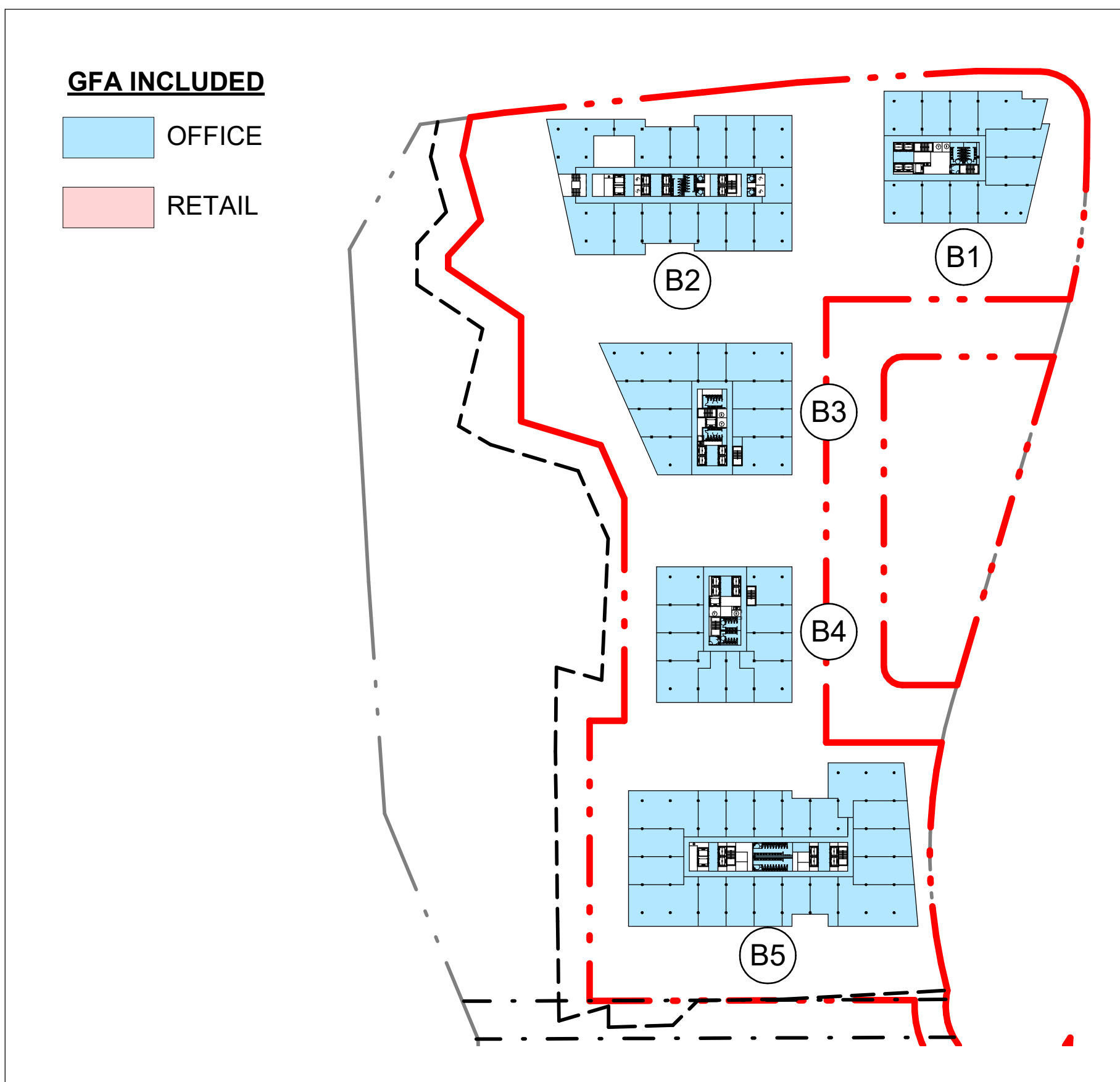
5 LEVEL 3 (STATS)_1000
A00-04 SCALE: 1: 1500



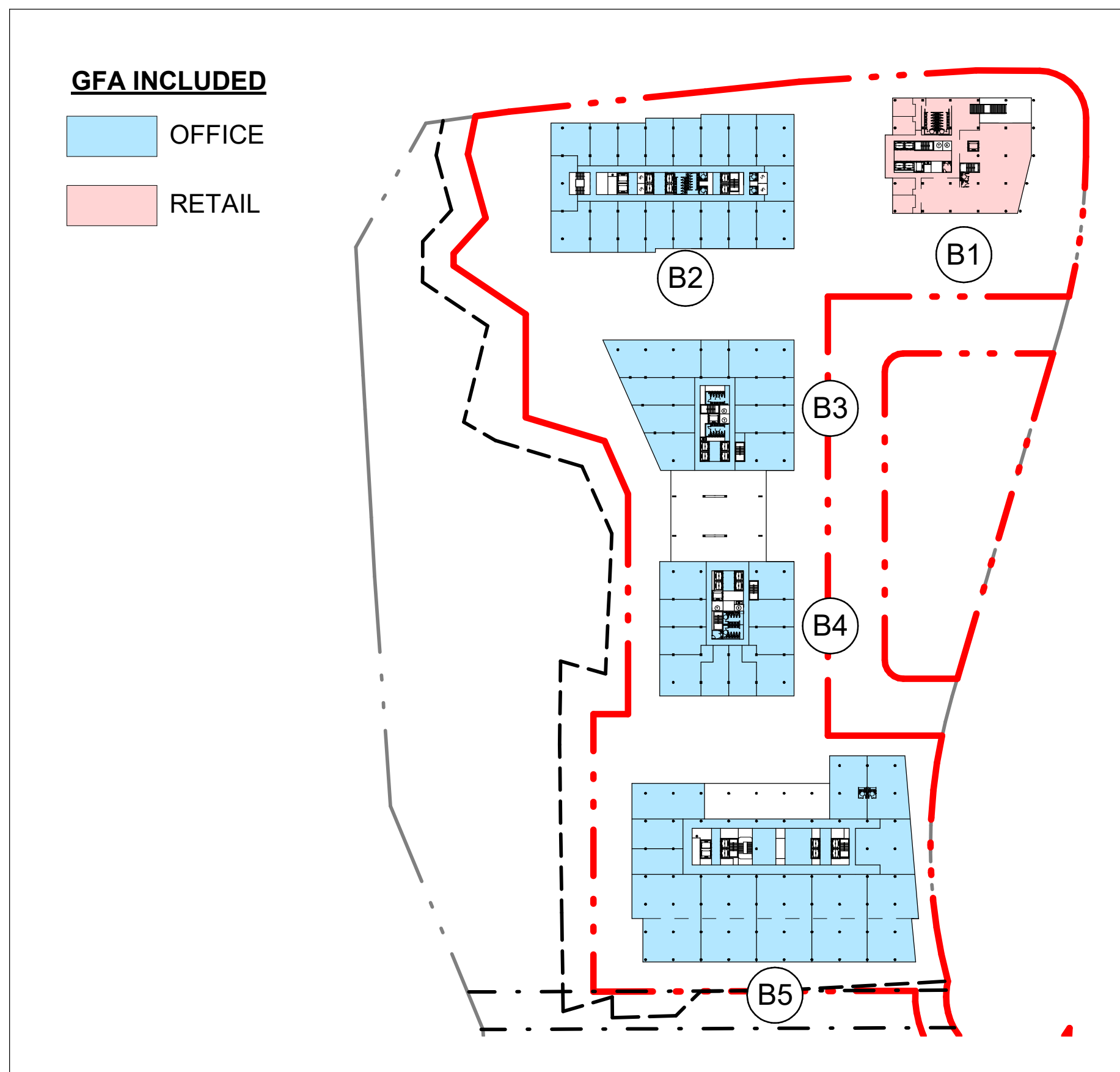
2 LEVEL P1 (STATS)_1000
A00-04 SCALE: 1: 1500



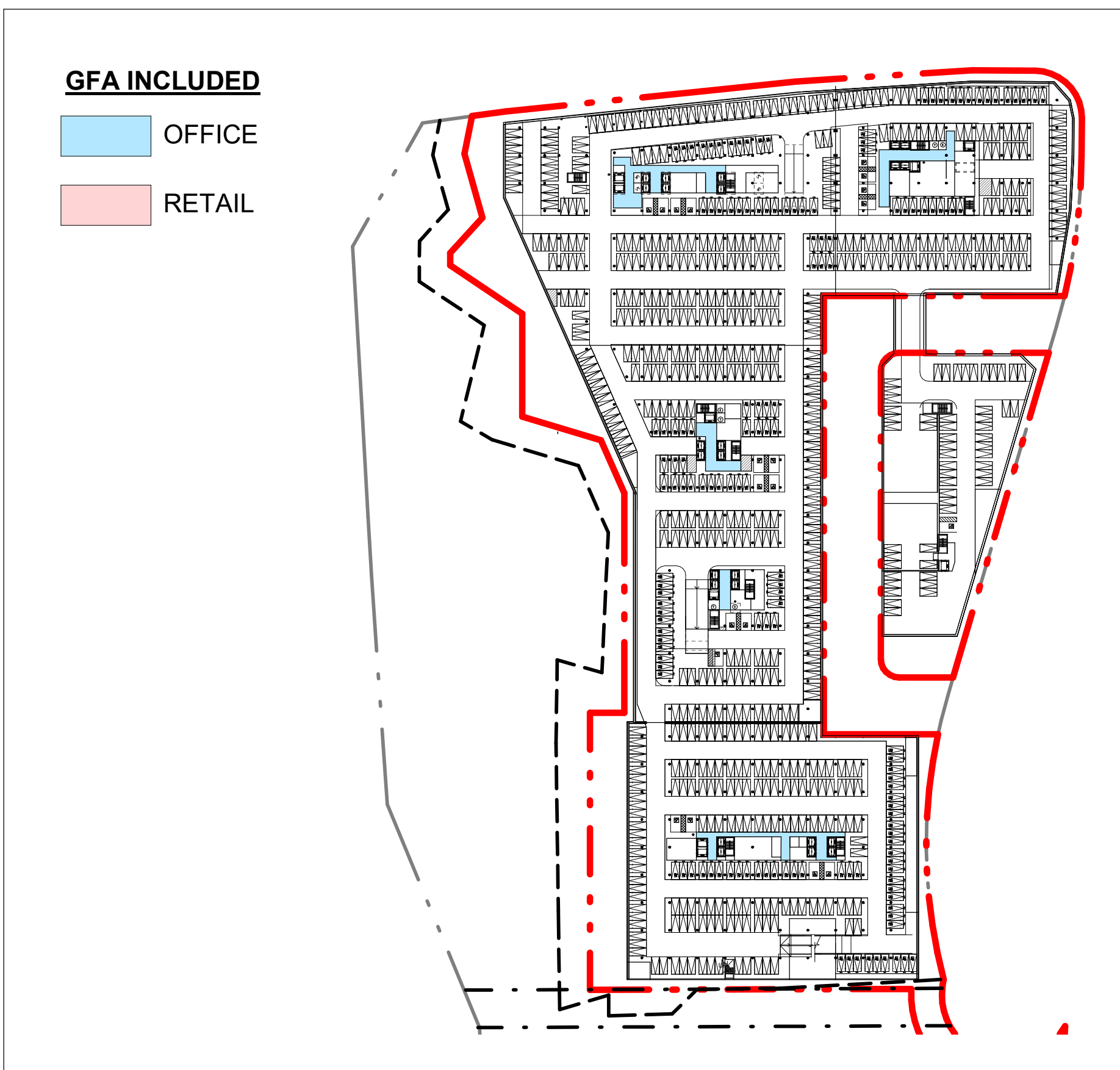
10 LEVEL 8 (STATS)_1000
A00-04 SCALE: 1: 1500



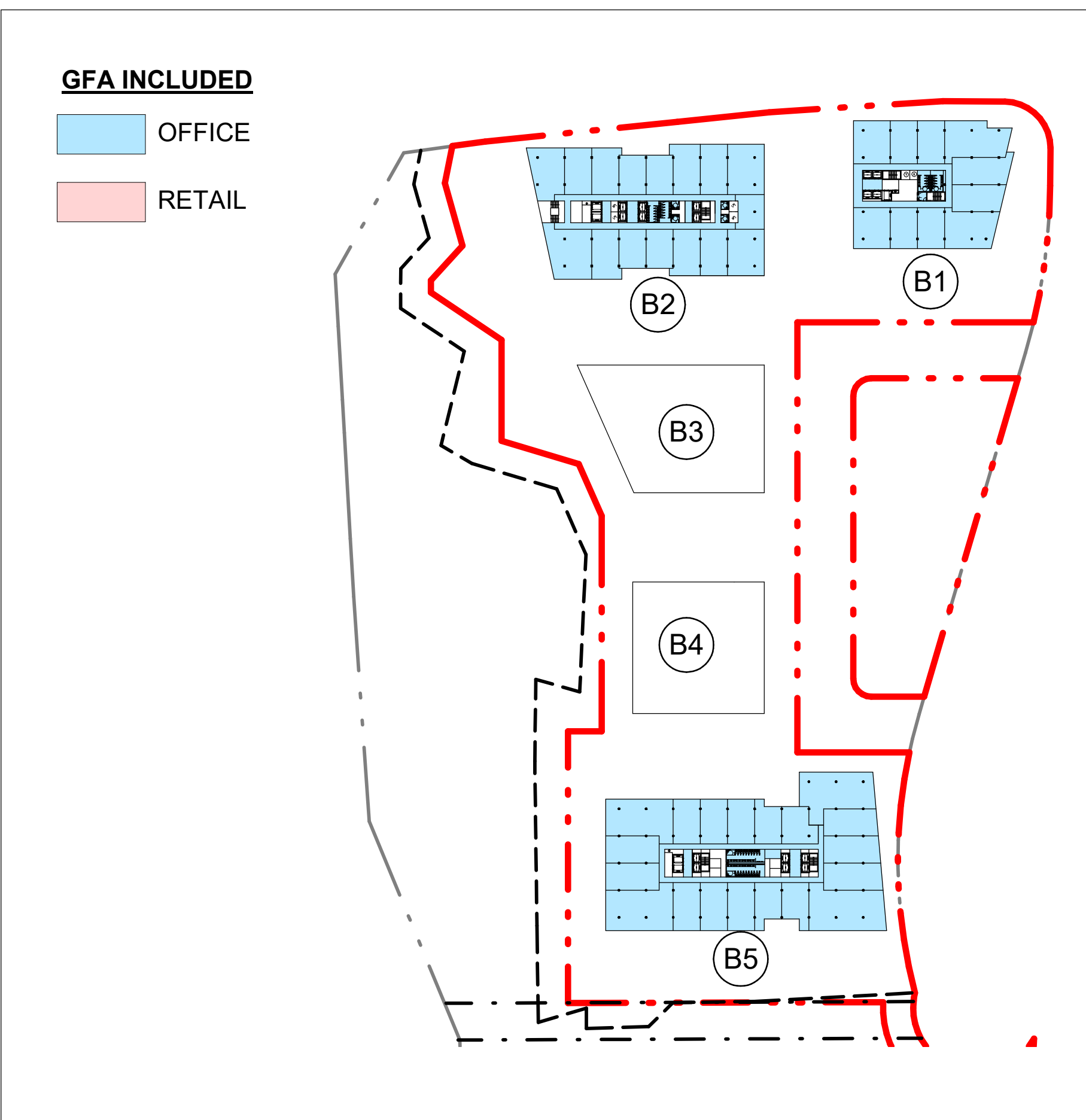
7 LEVEL 5 (STATS)_1000
A00-04 SCALE: 1: 1500



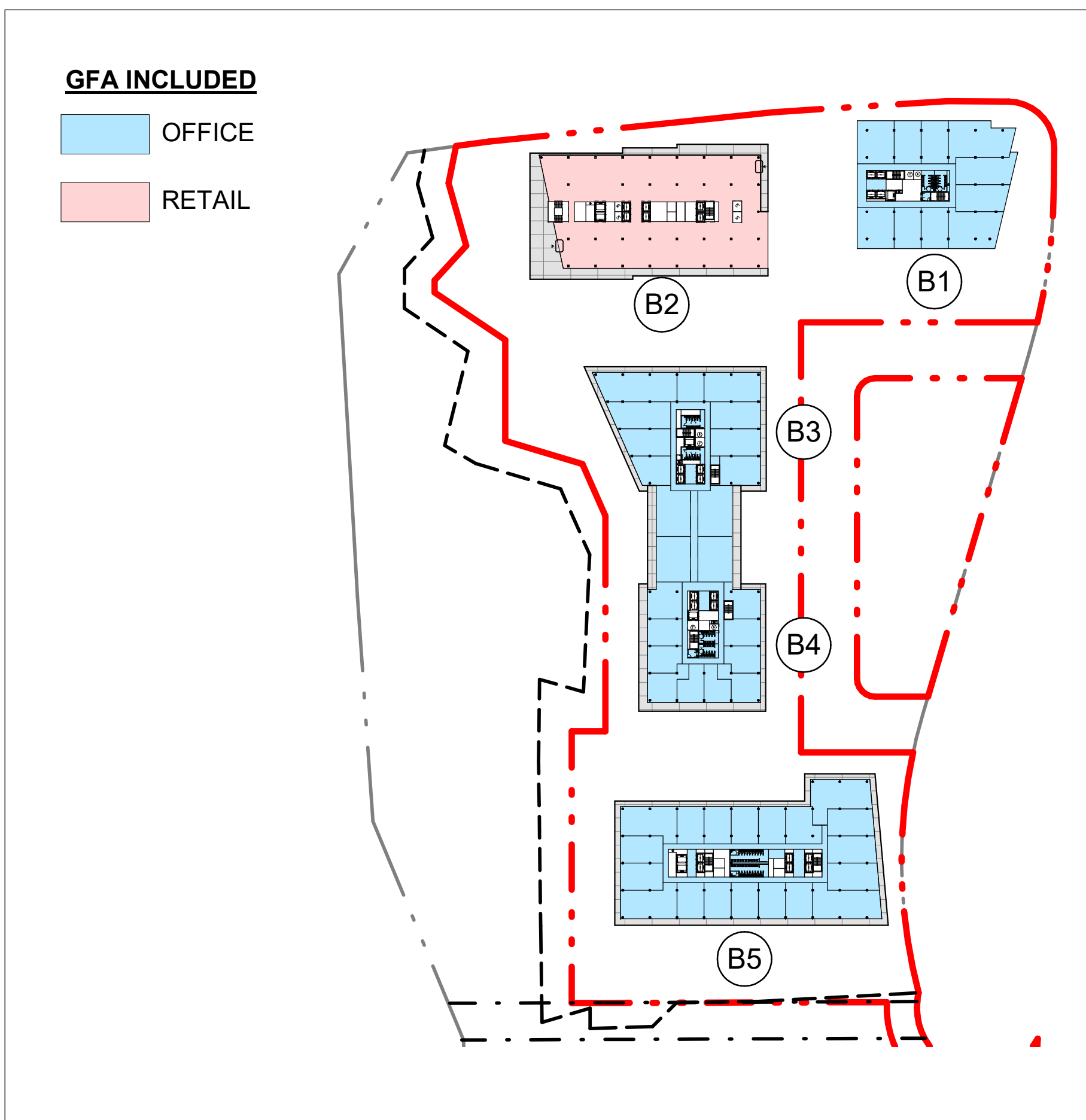
4 LEVEL 2 (STATS)_1000
A00-04 SCALE: 1: 1500



1 LEVEL P2 (STATS)_1000
A00-04 SCALE: 1: 1500



9 LEVEL 7 (STATS)_1000
A00-04 SCALE: 1: 1500

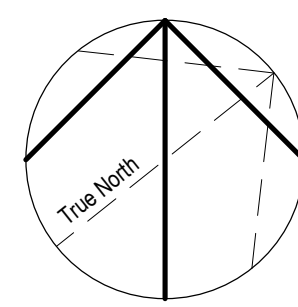


6 LEVEL 4 (STATS)_1000
A00-04 SCALE: 1: 1500

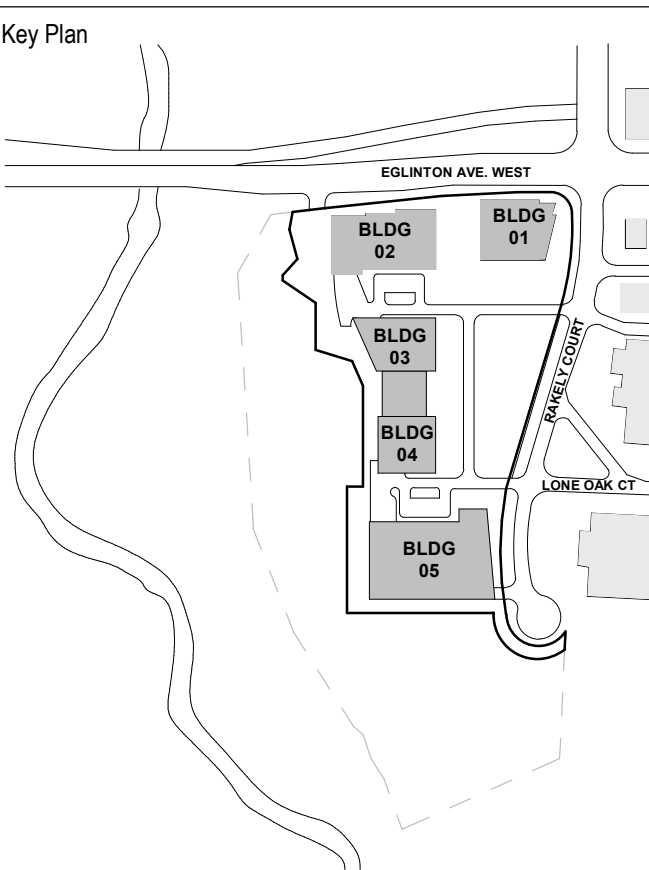


3 LEVEL 1 (STATS)_1000
A00-04 SCALE: 1: 1500

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT



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Structural:	NORR ARCHITECTS AND ENGINEERS LIMITED
Mechanical:	NORR ARCHITECTS AND ENGINEERS LIMITED
Electrical:	NORR ARCHITECTS AND ENGINEERS LIMITED
Traffic:	BA CONSULTING GROUP LTD.
Planning:	URBAN STRATEGIES INC.
Consultant:	GABRIEL FAIN ARCHITECTS INC.



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Client

Rakely Eglinton Corporate
Centre, Limited Partnership

Project

40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Drawing Title

GFA CALCULATION

Scale

1: 1500

Project No.

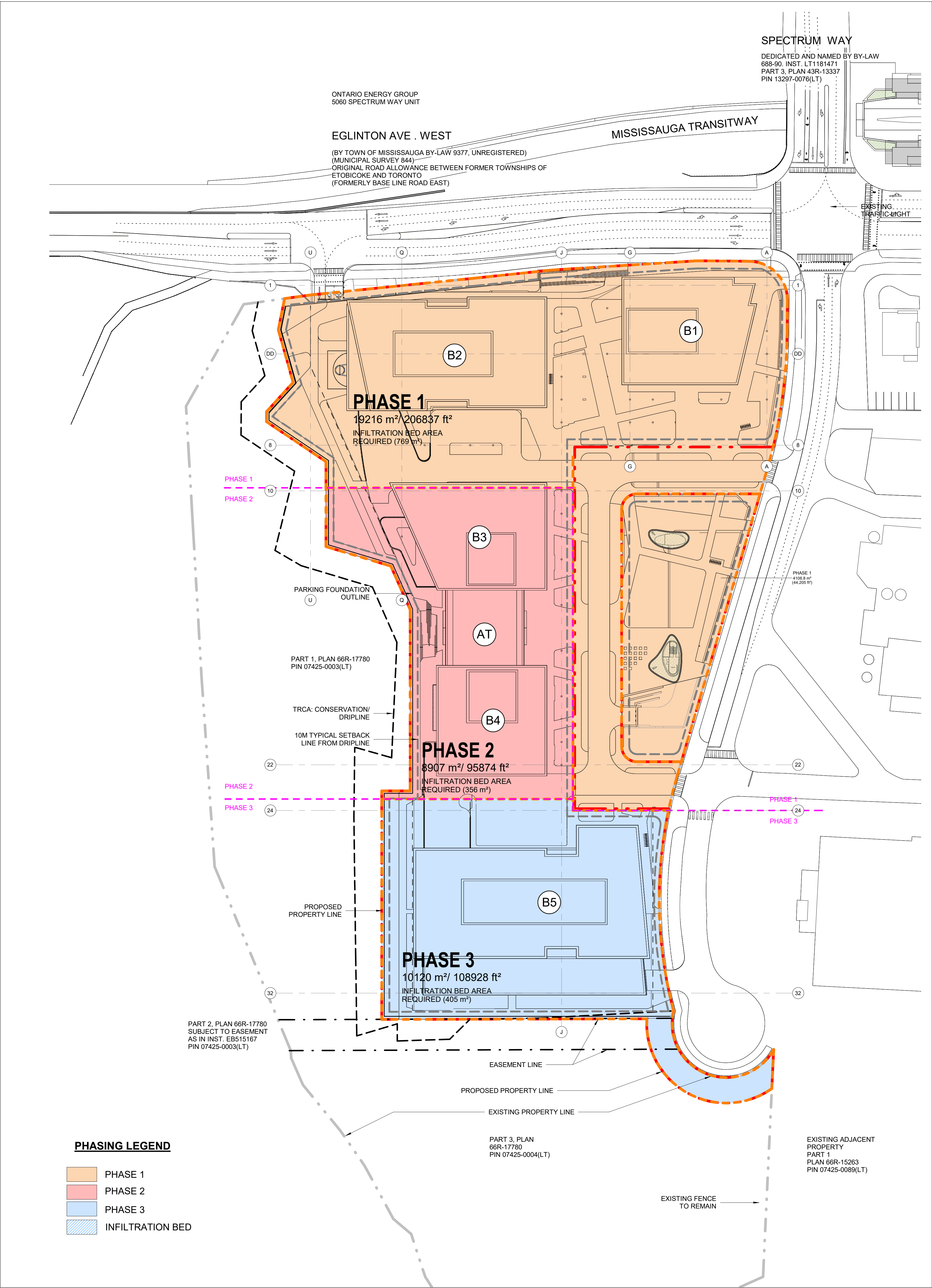
ONBL 18-0225

Drawing No.

A00-04



2 INFILTRATION BED_750
SCALE: 1:750

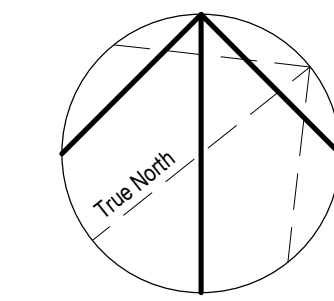


1 SITE PHASING DIAGRAM_750
SCALE: 1:750

INFILTRATION REQUIREMENTS BY PHASE	
PHASING	SITE AREA (m²)
PHASE 1	19,216 m²
PHASE 1	4,107 m²
PHASE 2	8,907 m²
PHASE 3	10,120 m²
TOTAL SITE AREA	42,349 m²

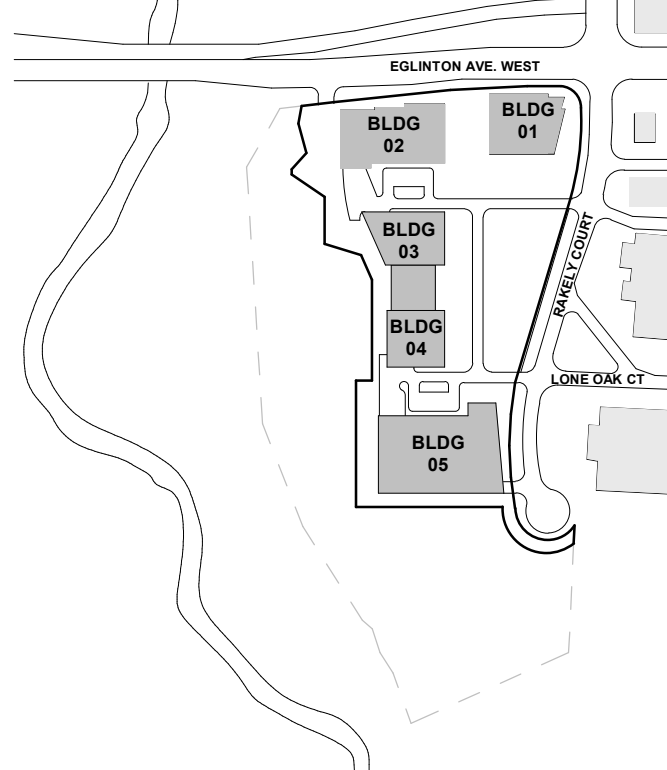
INFILTRATION ZONES INFILTRATION PROVIDED BY PHASE	
PHASING	AREA (m²)
PHASE 1	725 m²
PHASE 2	348 m²
PHASE 3	494 m²
TOTAL INFILTRATION AREA/SWALE	1,568 m²

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT



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Key Plan



Consultants	
Civil:	R.J. BURNSIDE & ASSOCIATES LIMITED
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Consultant:	GABRIEL FAIN ARCHITECTS INC.

Seal(s)



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Rakely Eglinton Corporate
Centre, Limited Partnership

Project

40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Drawing Title

PHASING DIAGRAM

Scale

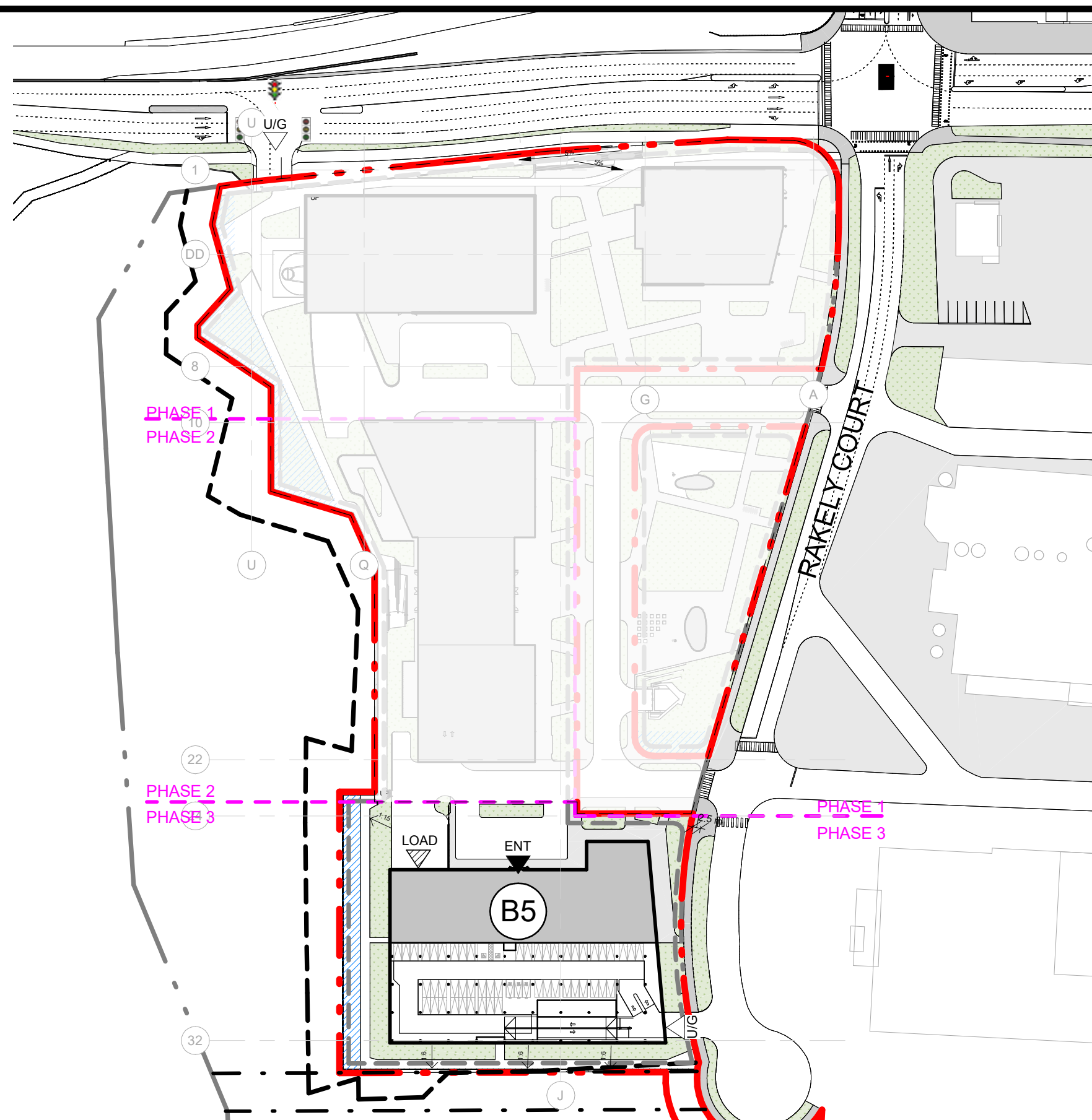
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Project No.

ONBL 18-0225

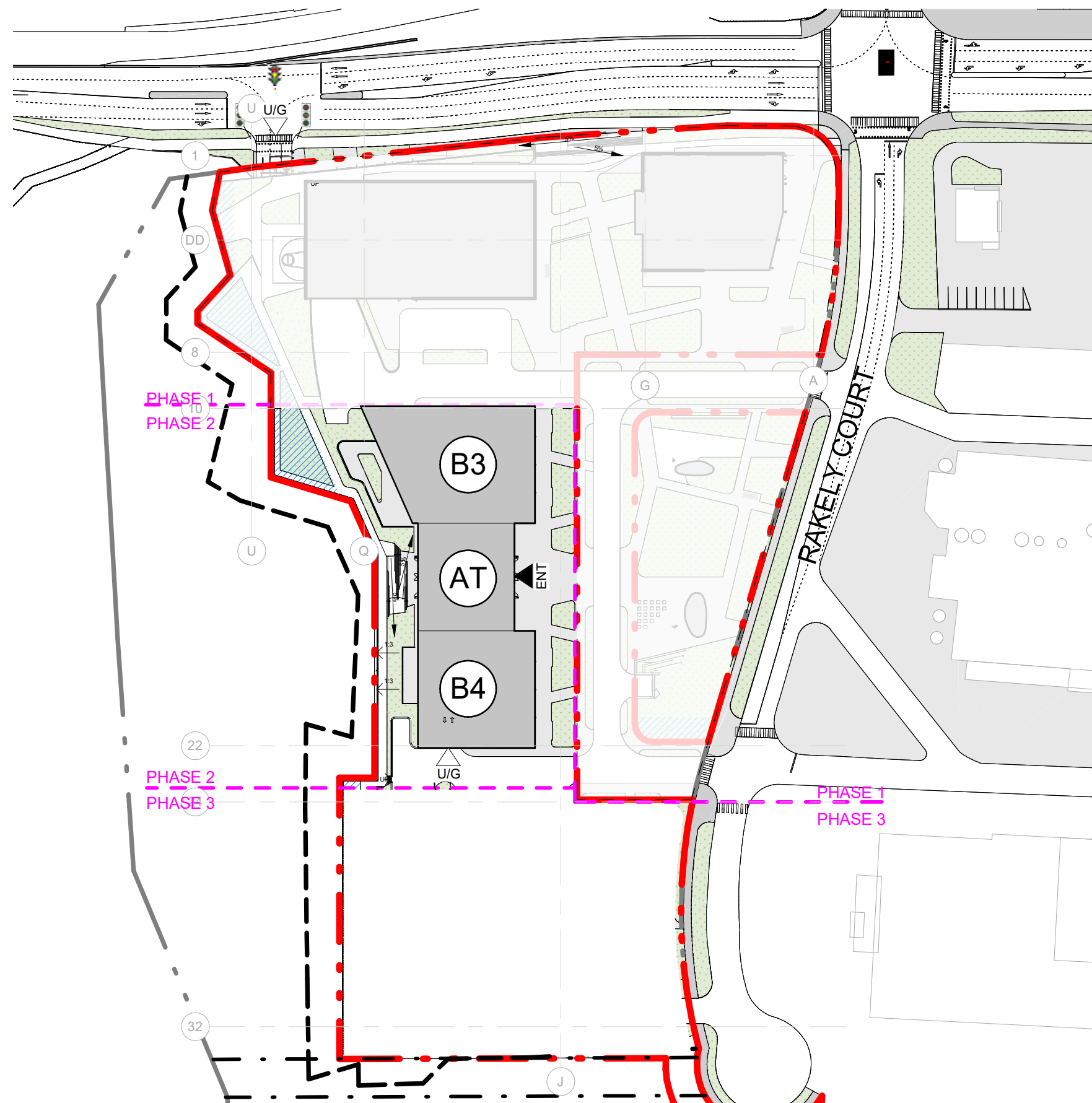
Drawing No.

A00-05



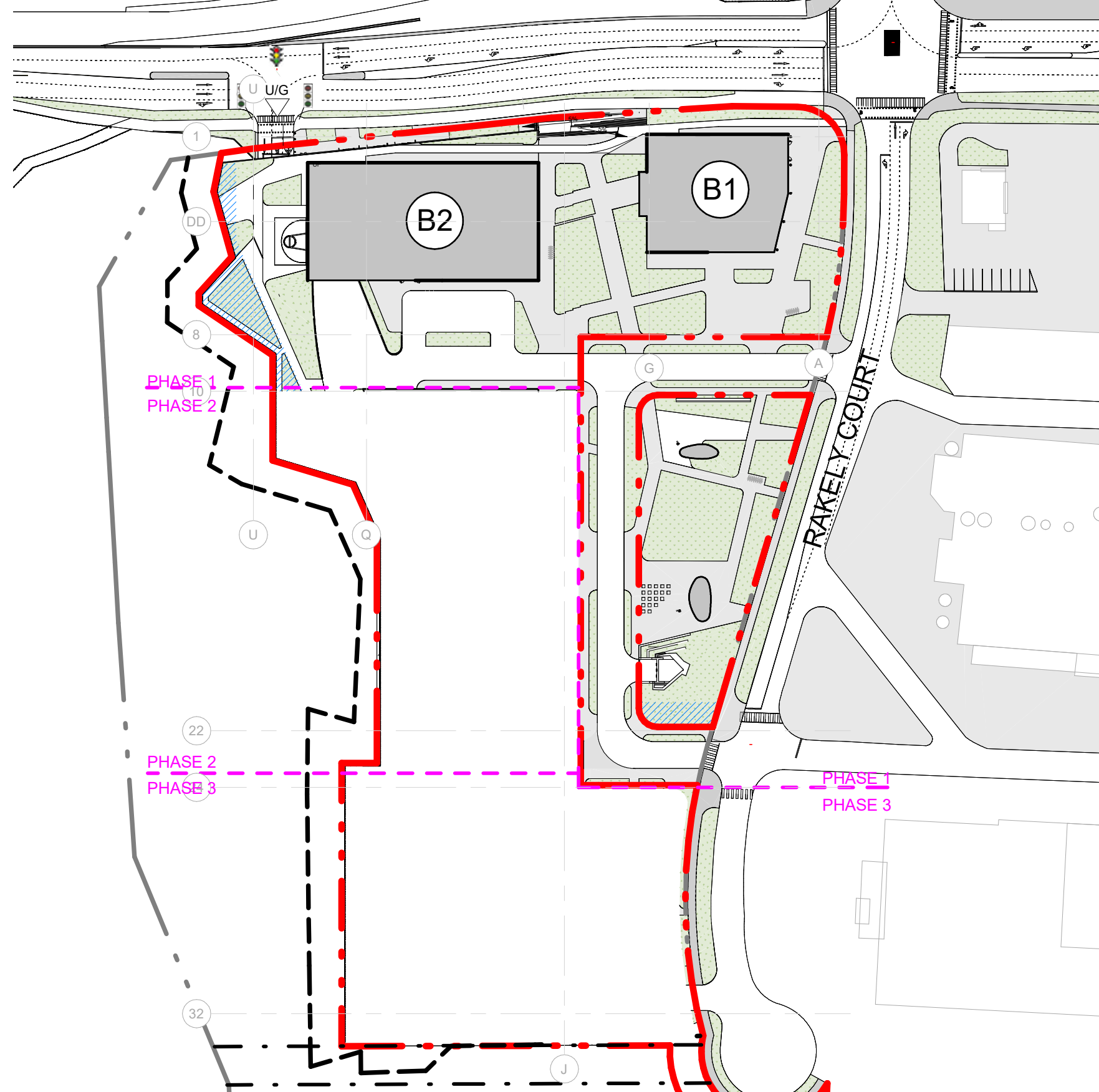
SUMMARY PARKING PHASE 1-3	
PARKING TYPE	COUNT
2.6 x 5.6m	1068
2.6 x 5.6m EVSE	378
3.4 x 5.6m ACCESSIBLE SPACE	41
PHASE 1 + 2 + 3 PARKING PROVIDED	1487

GROUND LEVEL



SUMMARY PARKING PHASE 1 + 2	
PARKING TYPE	COUNT
2.6 x 5.6m	763
2.6 x 5.6m EVSE	270
3.4 x 5.6m ACCESSIBLE SPACE	29
PHASE 1 + 2 PARKING PROVIDED	1062

GROUND LEVEL



STATS PARKING PHASE 1		(B1)	(B2)
PARKING TYPE		COUNT	
Phase 1			
LEVEL P2			
POPs			
2.5 x 5.6m		70	
2.6 x 5.6m EVSE		3	
3.4 x 5.6m ACCESSIBLE SPACE		2	
Tenants			
2.5 x 5.6m		251	
2.6 x 5.6m EVSE		55	
3.4 x 5.6m ACCESSIBLE SPACE		8	
		389	
LEVEL P1			
POPs			
2.5 x 5.6m		31	
2.6 x 5.6m EVSE		38	
3.4 x 5.6m ACCESSIBLE SPACE		1	
Tenants			
2.5 x 5.6m		156	
2.6 x 5.6m EVSE		84	
3.4 x 5.6m ACCESSIBLE SPACE		7	
		317	
PHASE 1 PARKING PROVIDED		706	

GROUND LEVEL

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

• PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE.

• PROJECT EAST 1m SETBACK TO RAKELY COURT PROPERTY LINE.

• PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE.

• PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED RAVINE SIDE PROPERTY LINE: 3m SETBACK FROM THIS PROPOSED PROPERTY LINE.

• PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE: 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #

PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

BUILDING NUMBER

U/G

VEHICULAR ENTRANCE TO PARKING GARAGE

LOAD

LOADING ENTRANCE

ENT

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

X-X-X-

1200mm PERIMETER FENCE

PARKING GATE

SIAMISE WATER CONNECTION

HYDRANT AND VALVE

SM

SANITARY MANHOLE

SMH

STORM MANHOLE

CB

CATCH BASIN MANHOLE

VB

VALVE & BOX

GR

GARBAGE CHUTE REFUSE

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

• BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE

• MINIMUM DIAMETER OF 50MM AT A MAXIMUM SPACING OF 50MM X 50MM

• 4M INFRONT OF LANDSCAPE FEATURES ON TERRACE

2

ISOMETRIC 3D SITE PLAN LOOKING SW

SCALE:

1

ISOMETRIC 3D SITE PLAN LOOKING NE

SCALE:

DATE	ISSUED FOR
2021-01-15	ZONING BY-LAW AMENDMENT
2022-02-04	CONSULTANT REVIEW
2022-10-03	ZONING BY-LAW AMENDMENT

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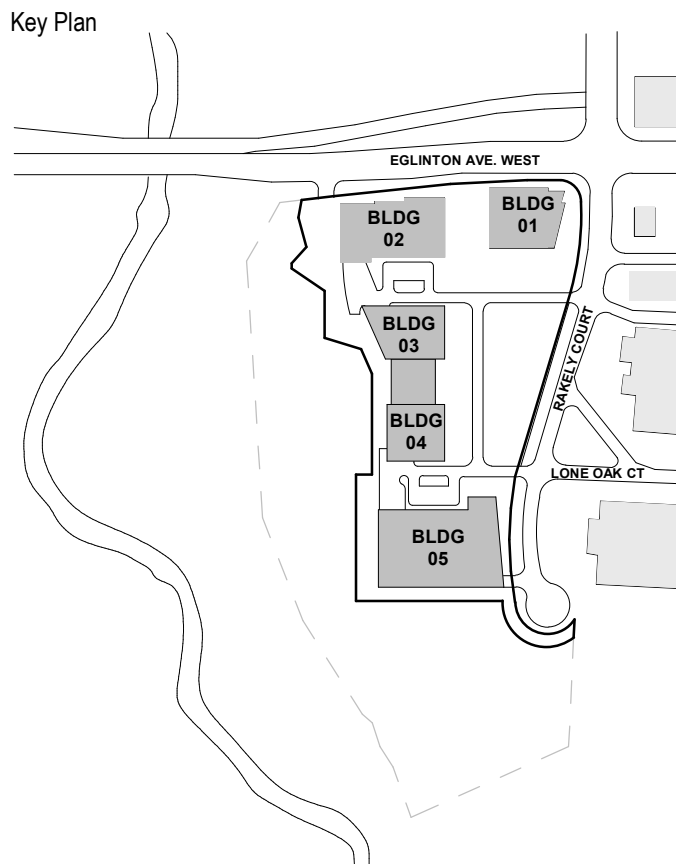
Project
40 RAKELY COURT, TORONTO, ON, M9C 5A5

Drawing Title
ISOMETRIC SITE PLAN DIAGRAMS

Scale	1 : 400
Project No.	ONBL 18-0225
Drawing No.	A00-07

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT

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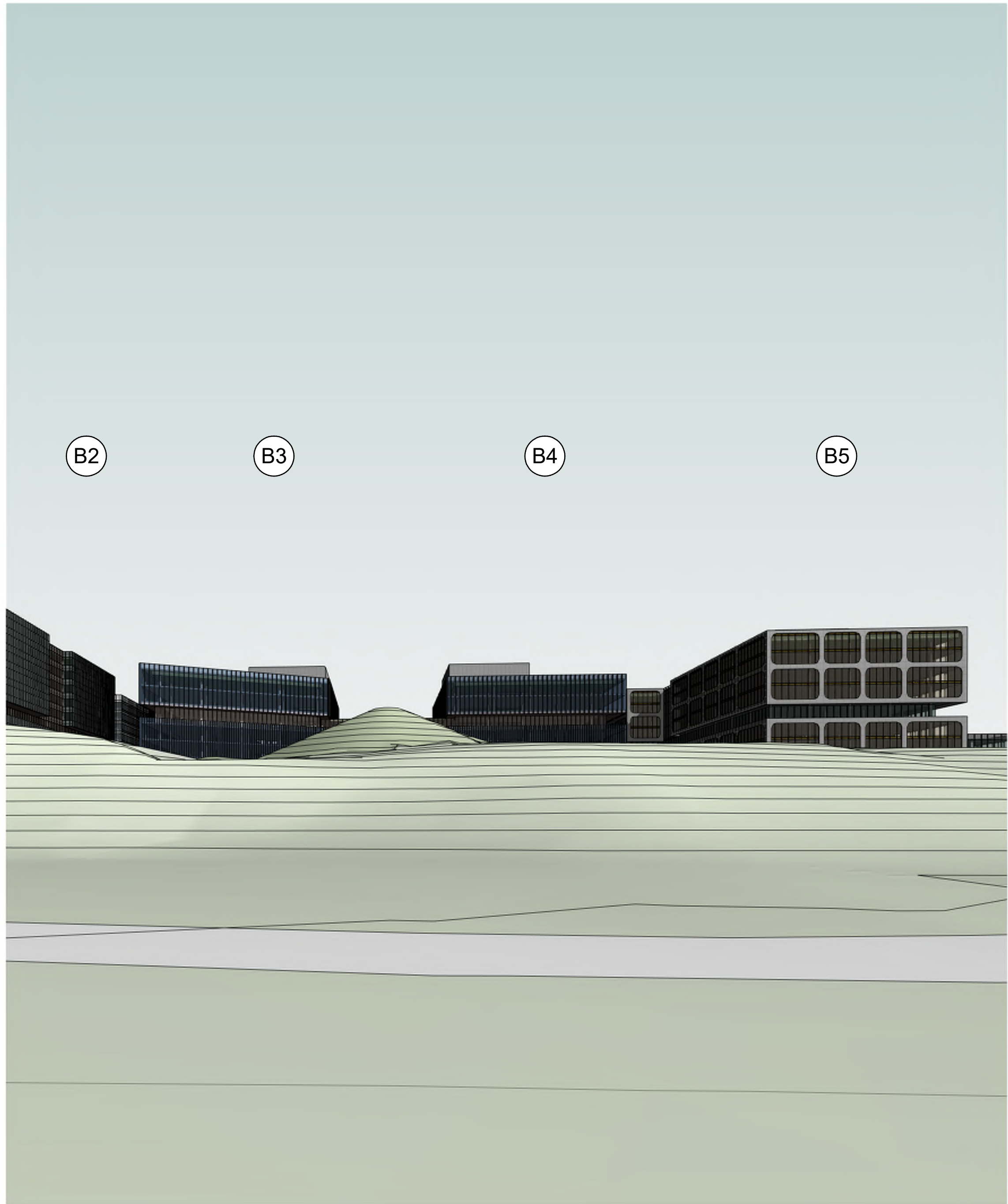
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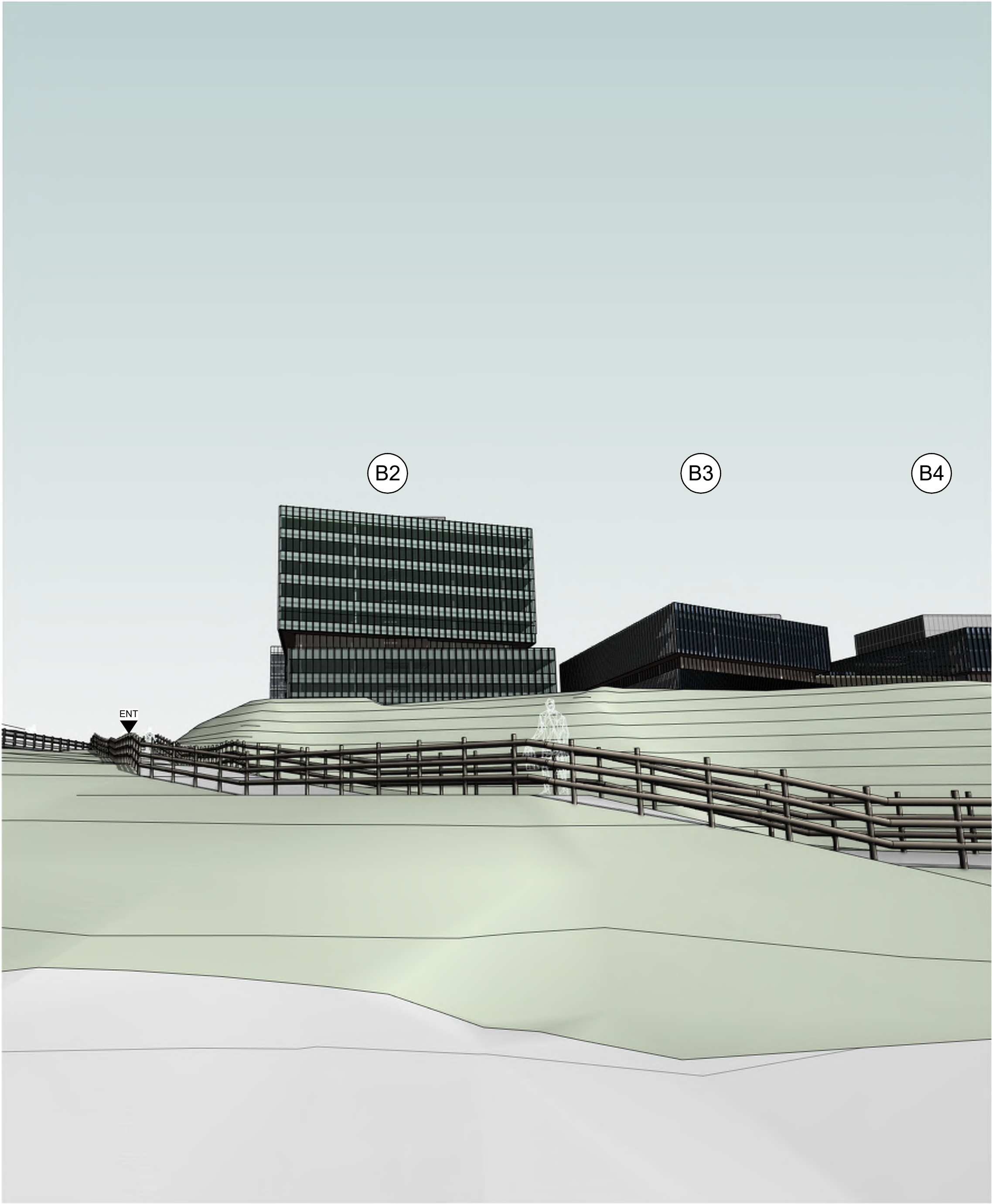
Project
**40 RAKELY COURT,
TORONTO, ON, M9C 5A5**

Drawing Title
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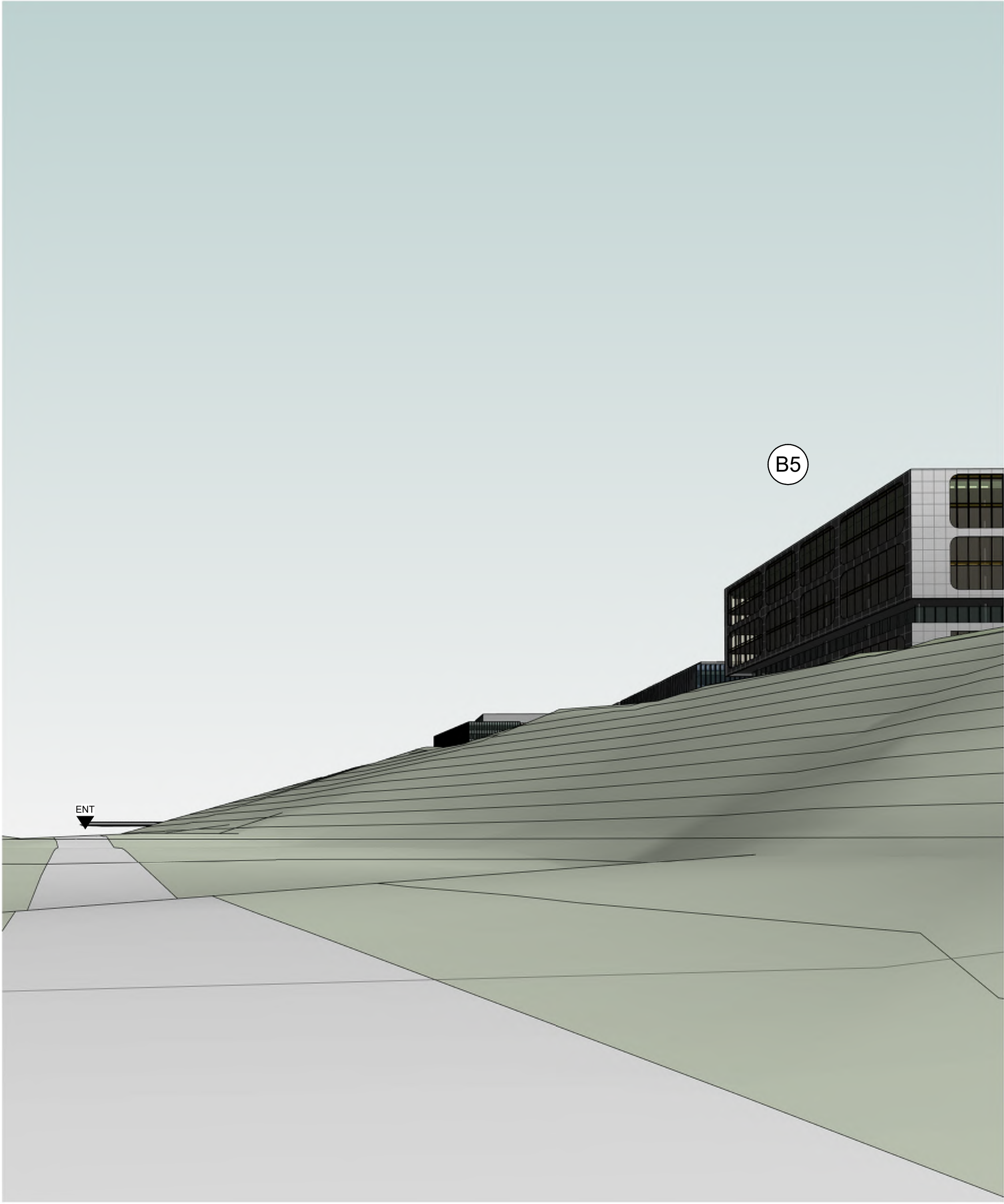
Scale
Project No.
ONBL 18-0225
Drawing No.
A00-08



3
A00-08
PERSPECTIVE VIEW 3.
SCALE:



2
A00-08
PERSPECTIVE VIEW 2.
SCALE:



1
A00-08
PERSPECTIVE VIEW 1.
SCALE:



5. PERSPECTIVE SHOT 5.
SCALE: 1:2



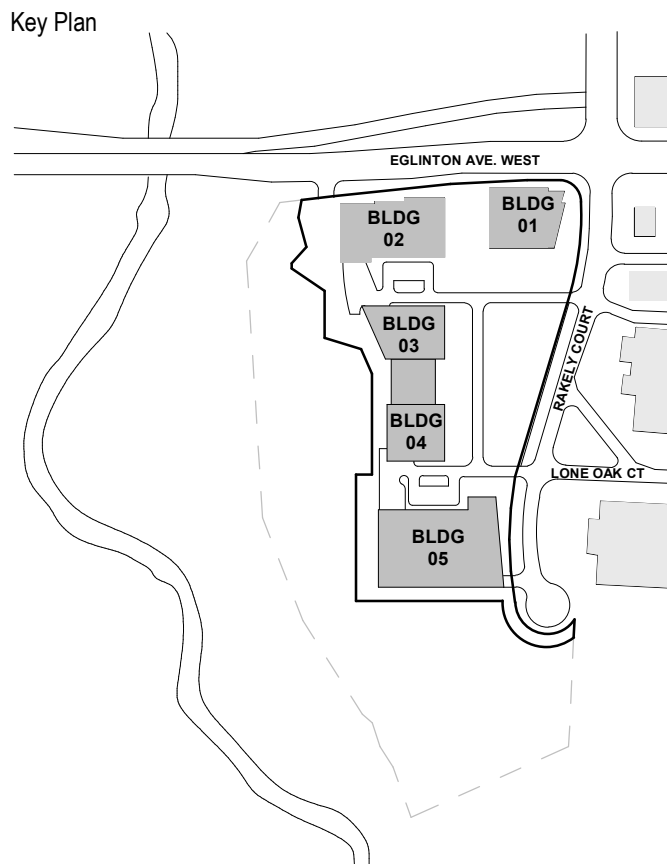
6. PERSPECTIVE SHOT 6.
SCALE: 1:2



7. PERSPECTIVE SHOT 7.
SCALE: 1:2

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
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Drawing Title
PERSPECTIVE VIEWS

Scale	1:2
Project No.	ONBL 18-0225
Drawing No.	A00-09



1
A00-10

PERSPECTIVE SHOT 1
SCALE: 1 : 2



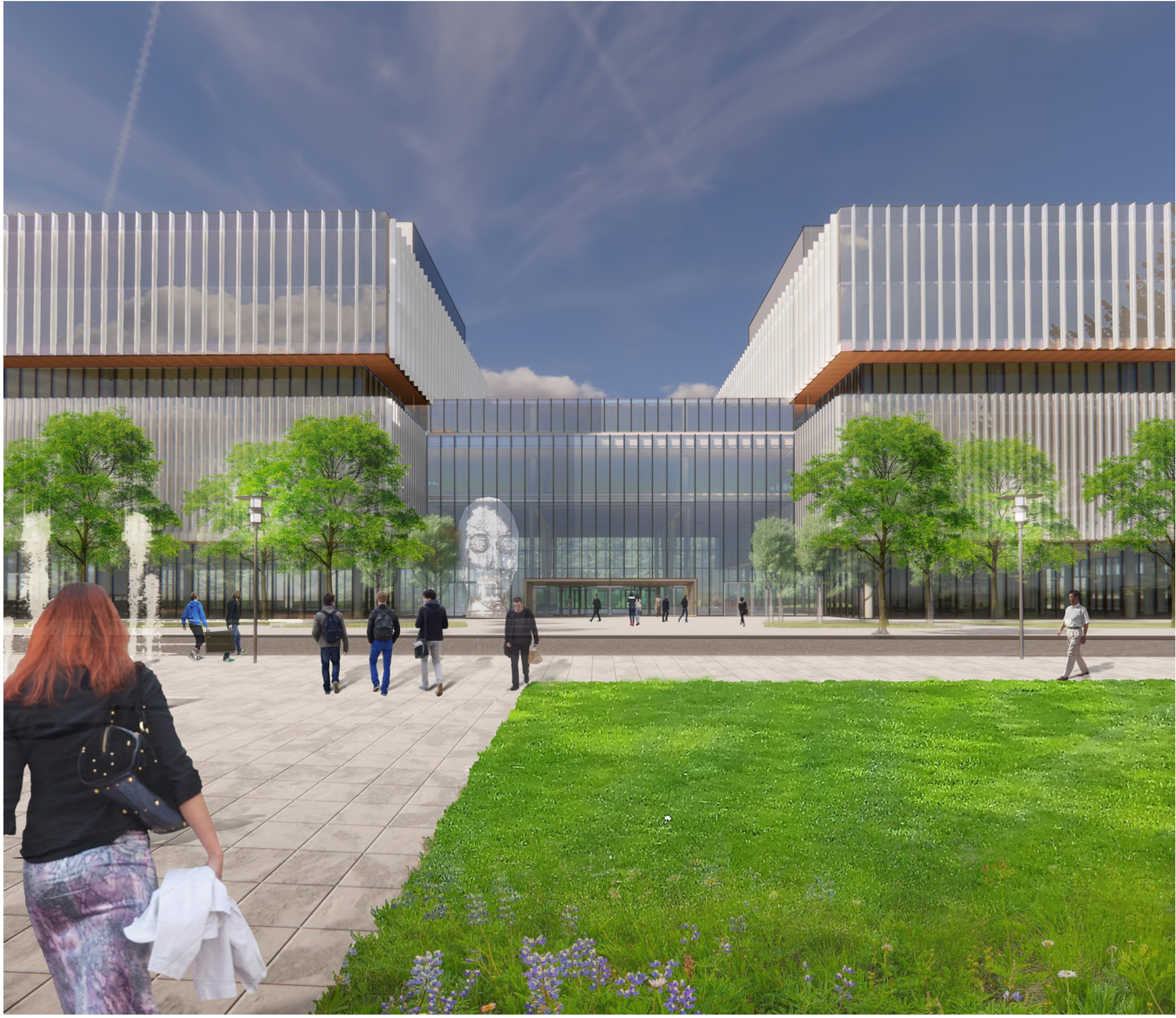
2
A00-10

PERSPECTIVE SHOT 2
SCALE: 1 : 2



3
A00-10

PERSPECTIVE SHOT 3
SCALE: 1 : 2

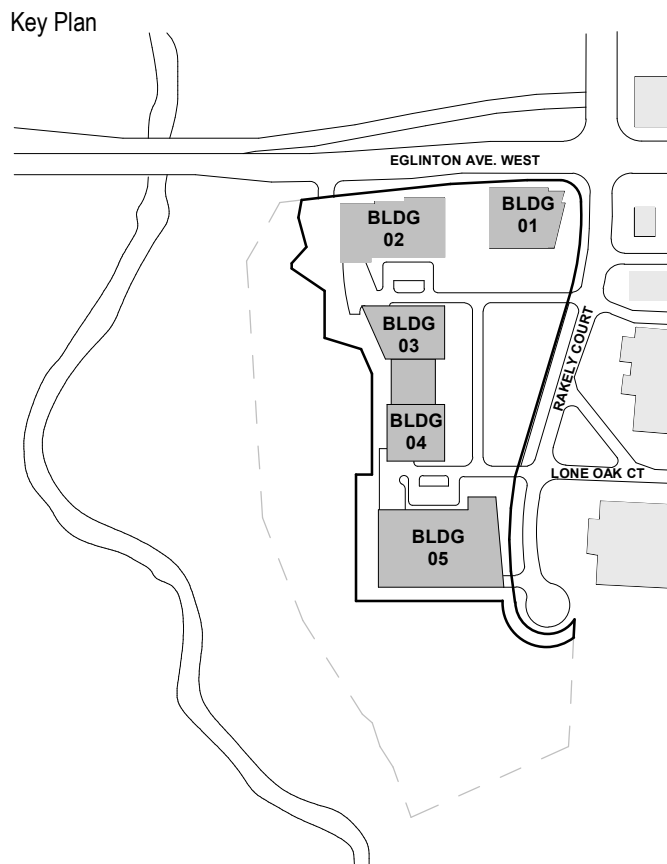


4
A00-10

PERSPECTIVE SHOT 4
SCALE: 1 : 2

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Centre, Limited Partnership

Project

40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Drawing Title

PERSPECTIVE VIEWS

Scale	1 : 2
Project No.	ONBL 18-0225
Drawing No.	A00-10



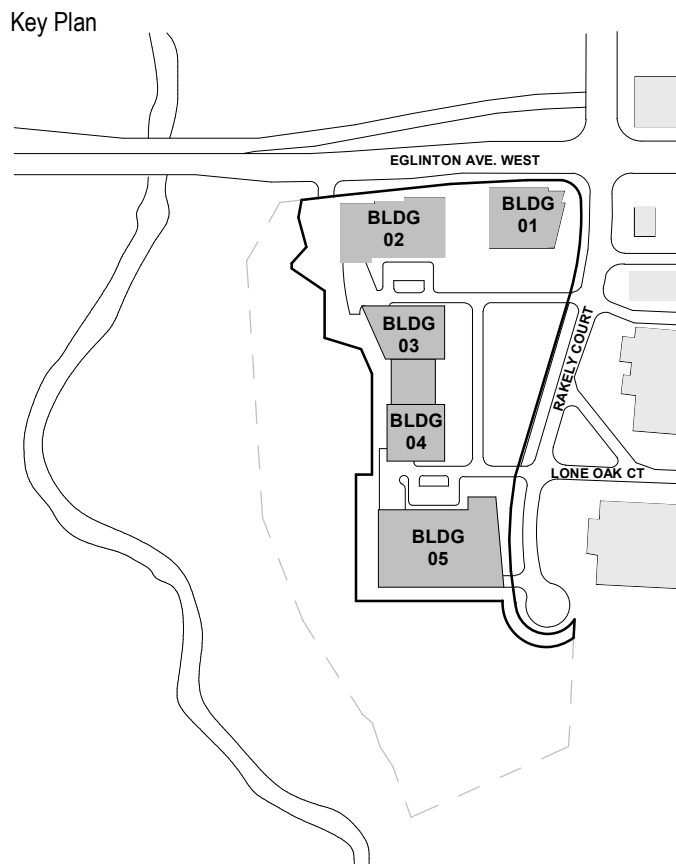
1
A00-11
PERSPECTIVE ARIEL 1
SCALE: 1 : 2



2
A00-11
PERSPECTIVE ARIEL 2
SCALE: 1 : 2

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Project
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Drawing Title
AERIAL PERSPECTIVE VIEW

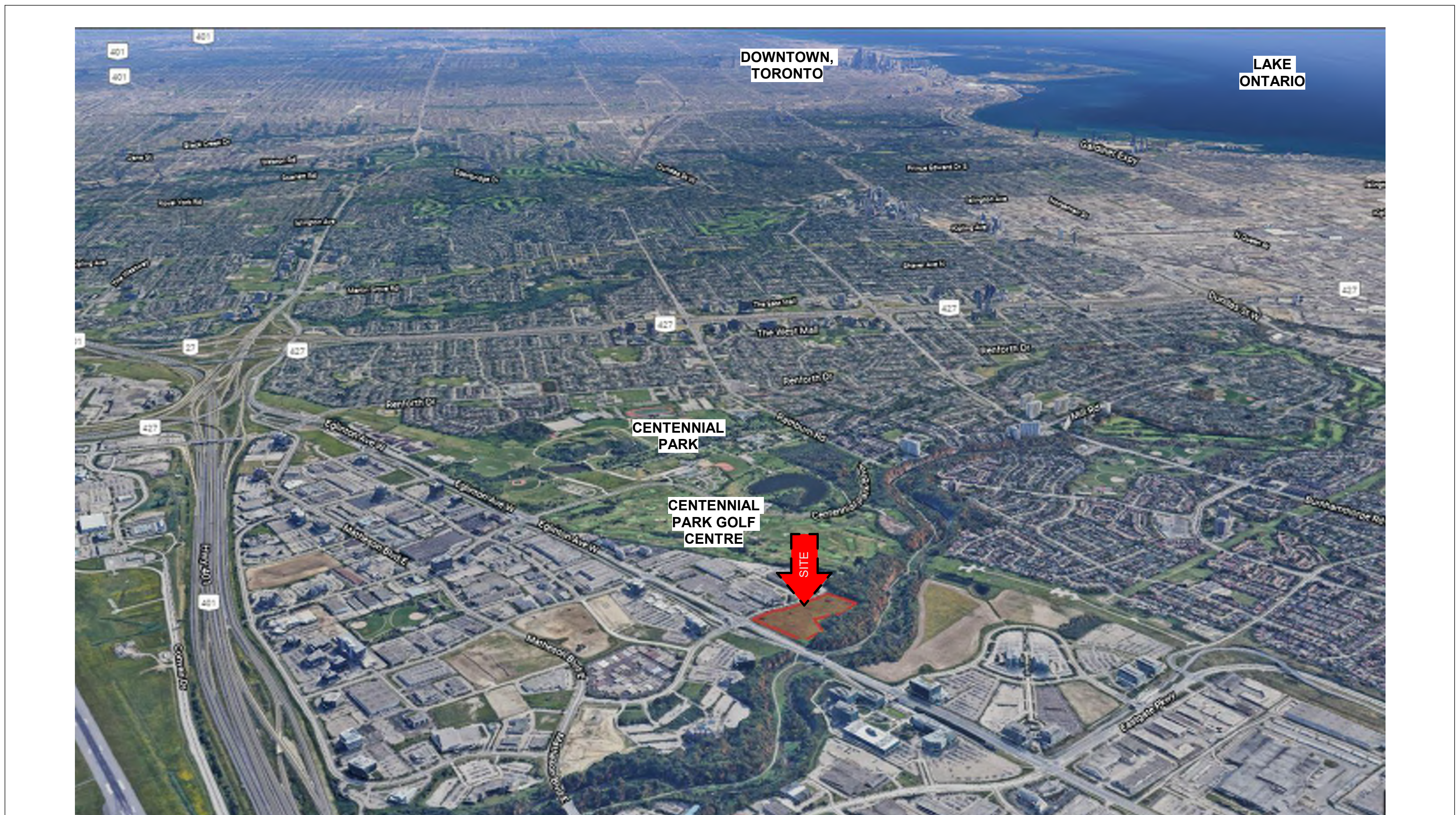
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Project No.	ONBL 18-0225
Drawing No.	A00-11



6 SITE CONTEXT LOOKING NORTH
SCALE: 1:1



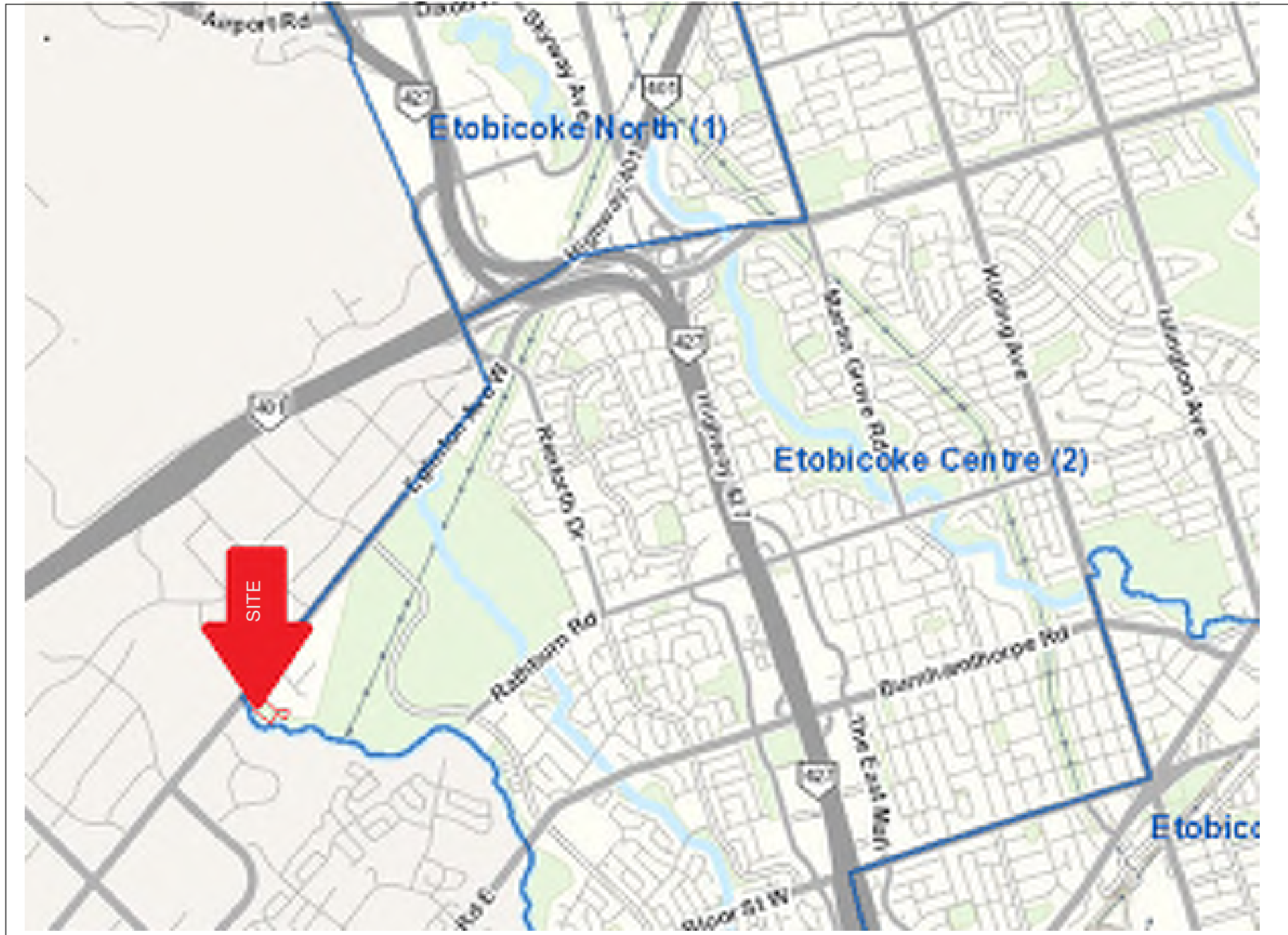
5 SITE CONTEXT LOOKING SOUTH
SCALE: 1:1



4 SITE CONTEXT LOOKING EAST
SCALE: 1:1



3 CONTEXT PLAN
SCALE: 1:3000



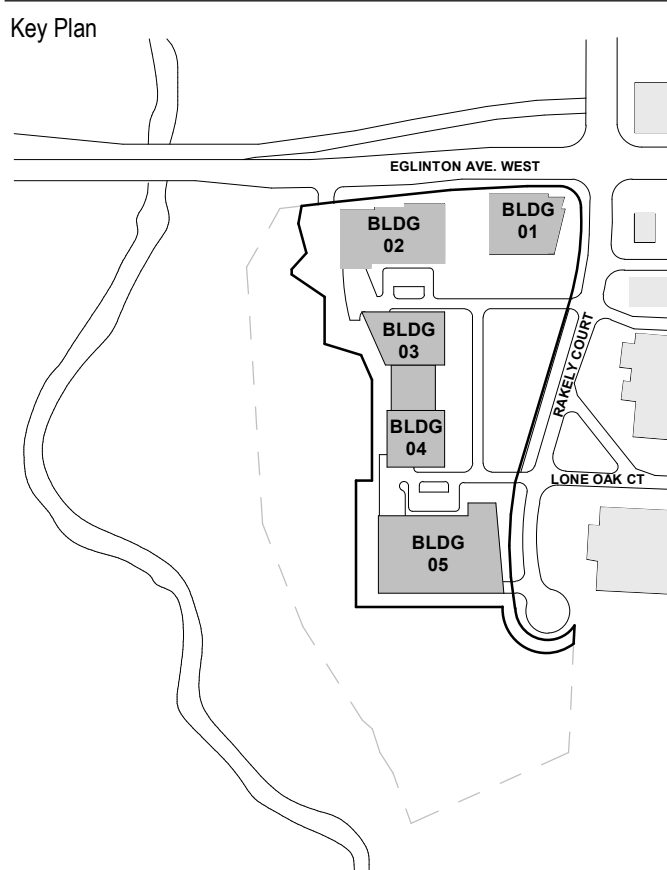
2 SITE CONTEXT
N.T.S.



1 SITE CONTEXT
N.T.S.

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
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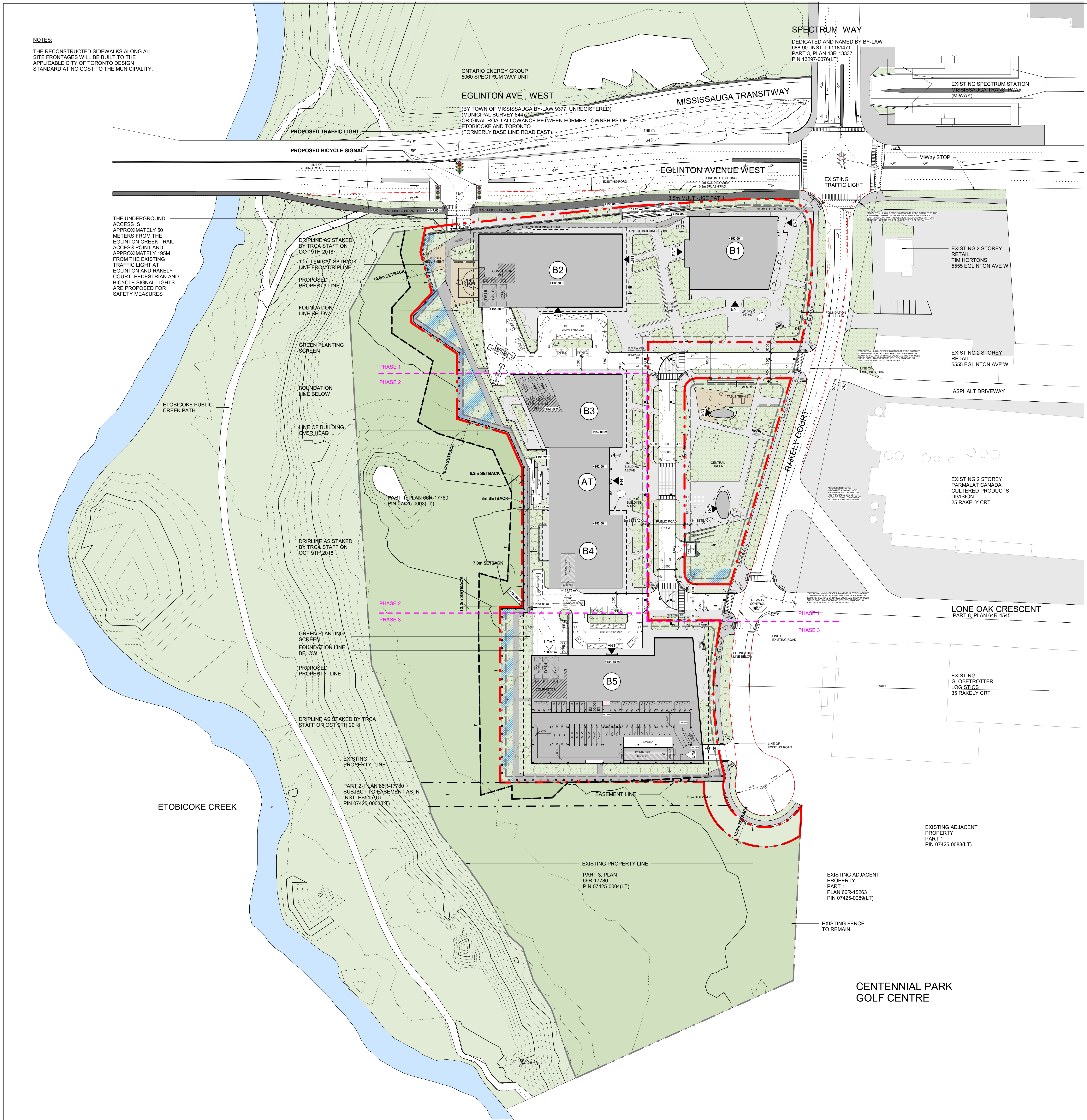
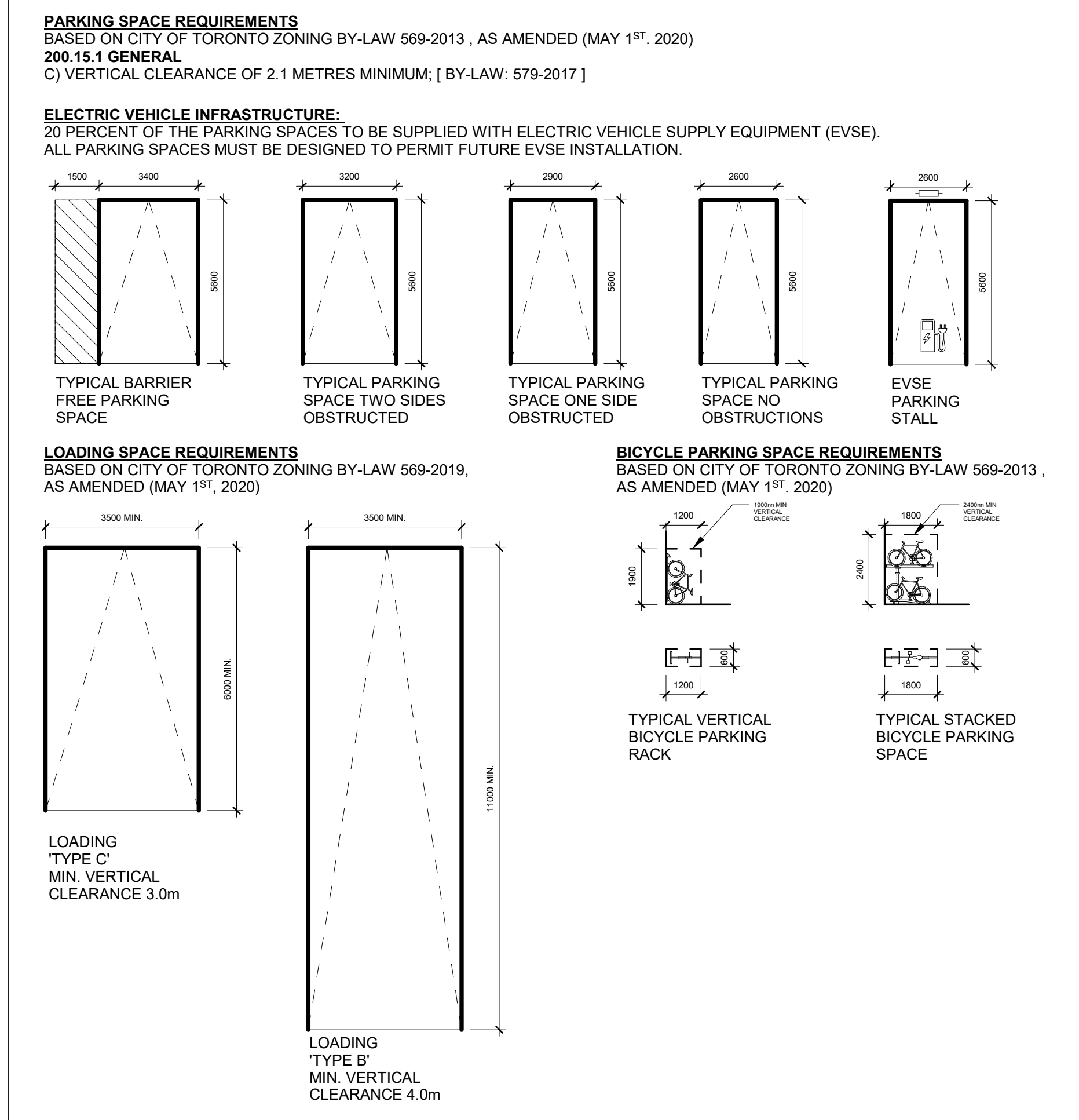
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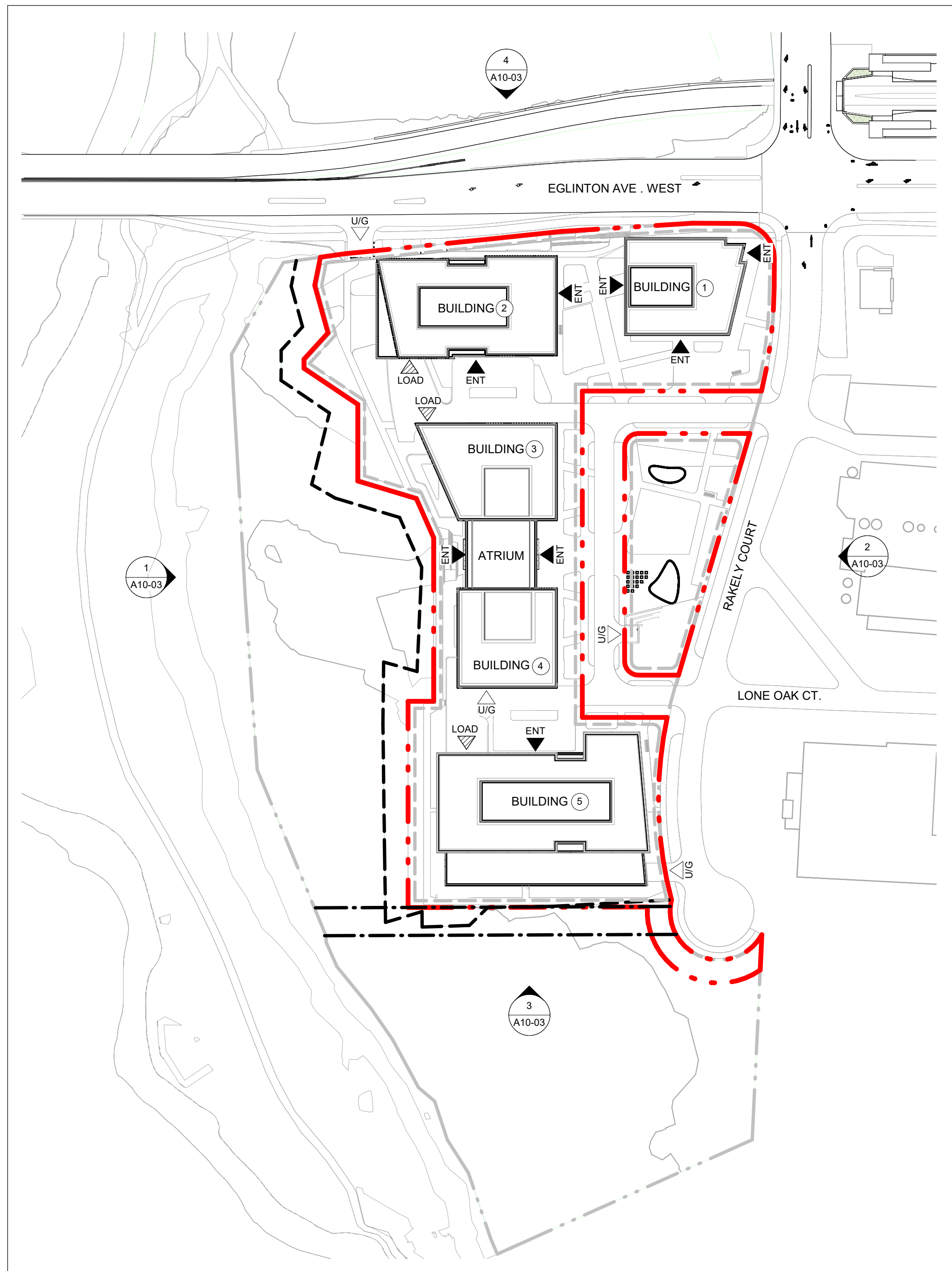
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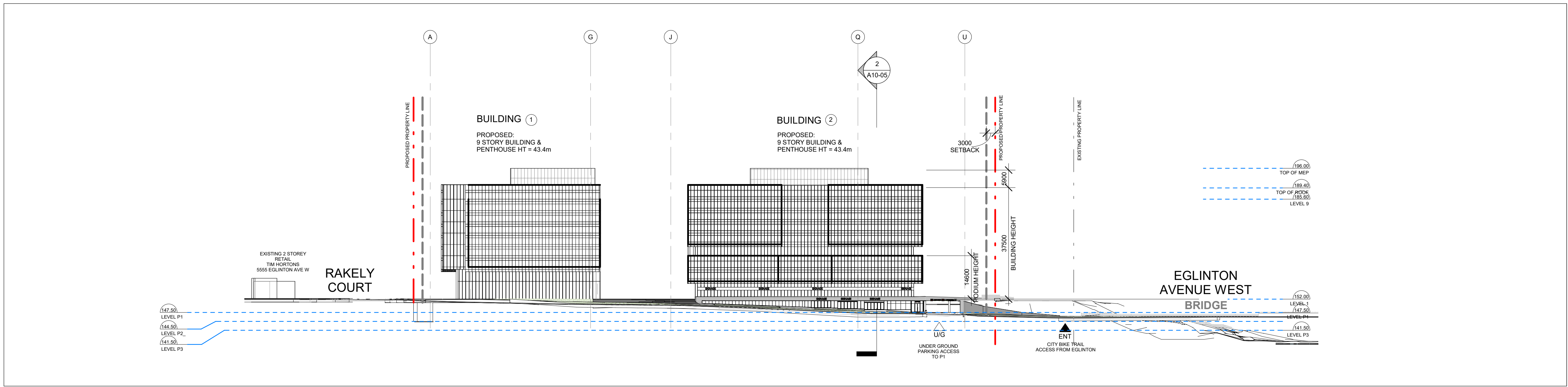
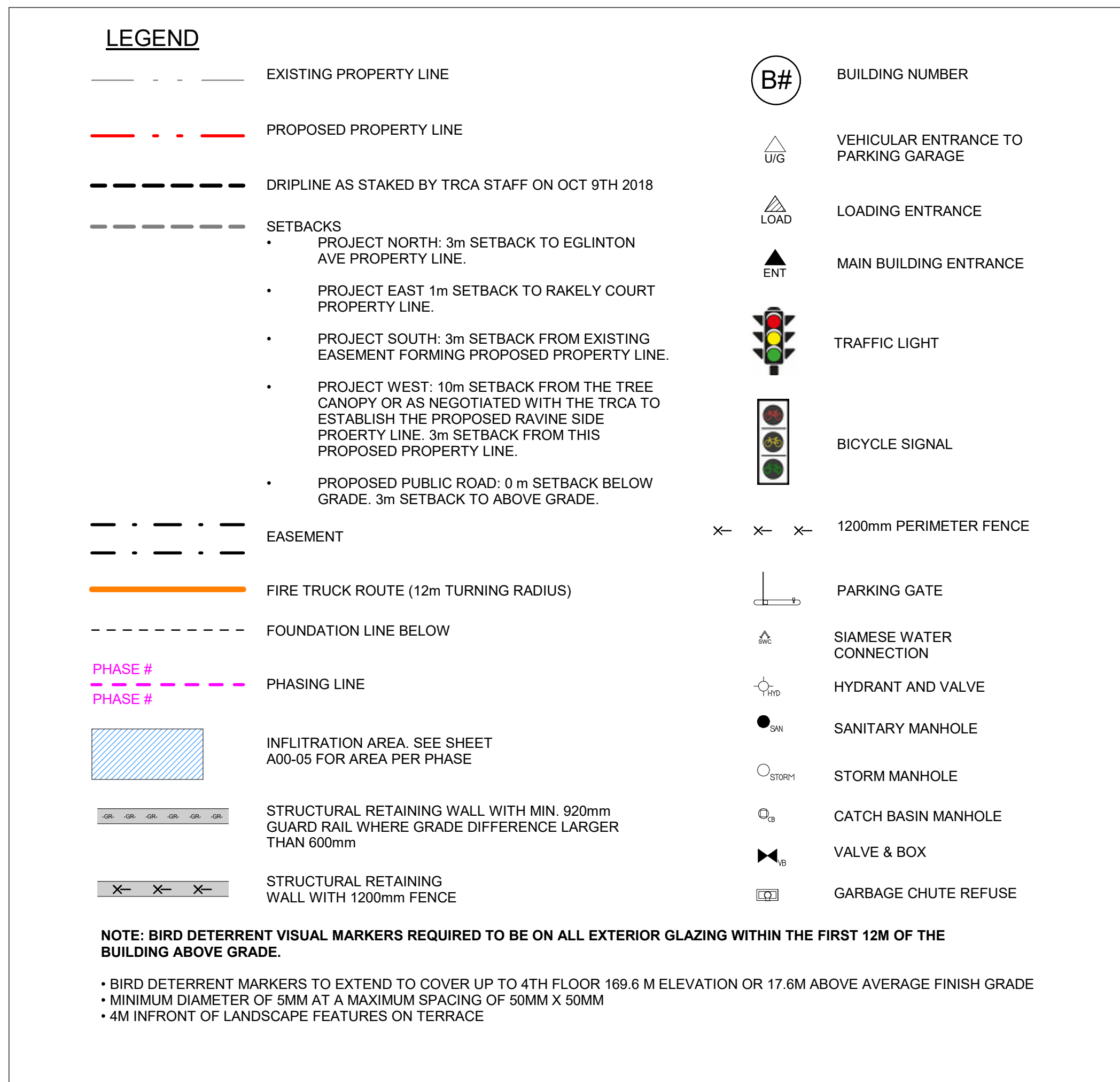
Drawing Title
CONTEXT PLAN

Scale: As indicated
Project No.: ONBL 18-0225
Drawing No.: A10-01

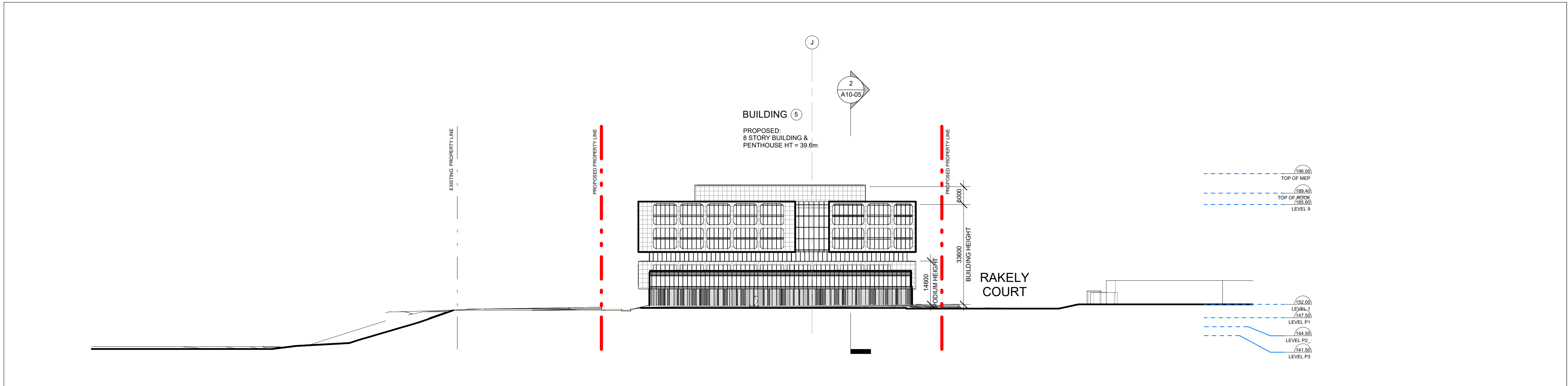




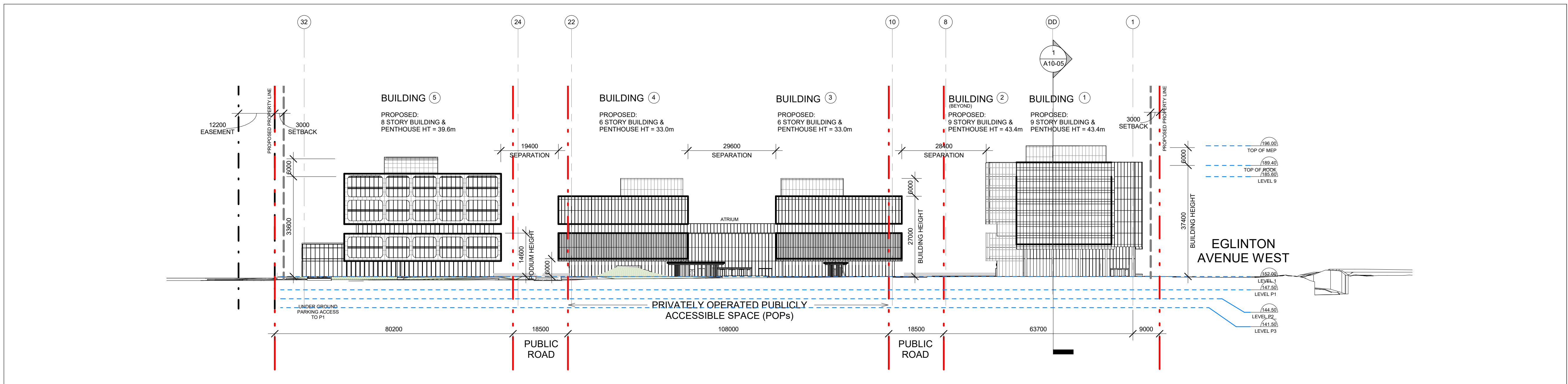
6 KEY PLAN - ELEVATIONS DIAGRAM
SCALE: 1 : 1500
A10-03



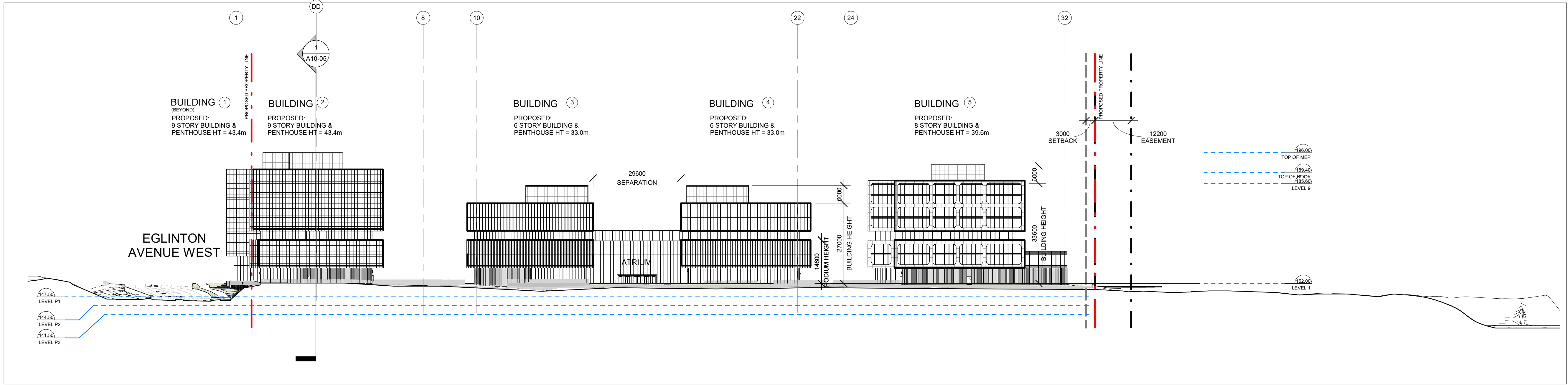
4 NORTH ELEVATION FROM EGLINTON AVE WEST
SCALE: 1 : 750
A10-03



3 SOUTH ELEVATION
SCALE: 1 : 750
A10-03

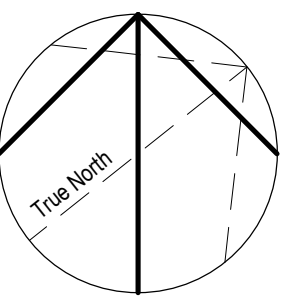


2 EAST ELEVATION FROM RAKELY COURT
SCALE: 1 : 750
A10-03



1 WEST ELEVATION FROM ETOBICOKE CREEK
SCALE: 1 : 750
A10-03

DATE	ISSUED FOR
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Project

40 RAKELY COURT,
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Drawing Title

SITE ELEVATIONS

Scale

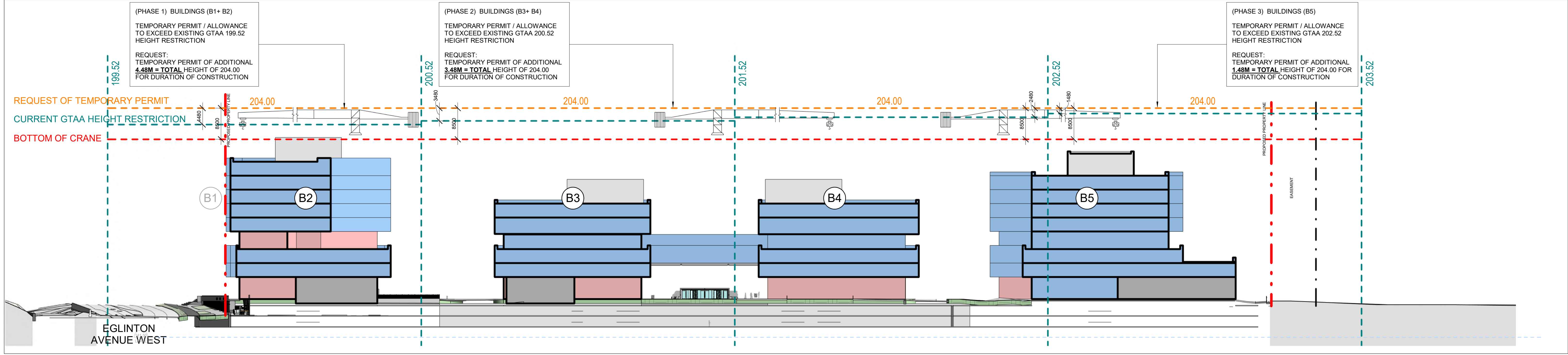
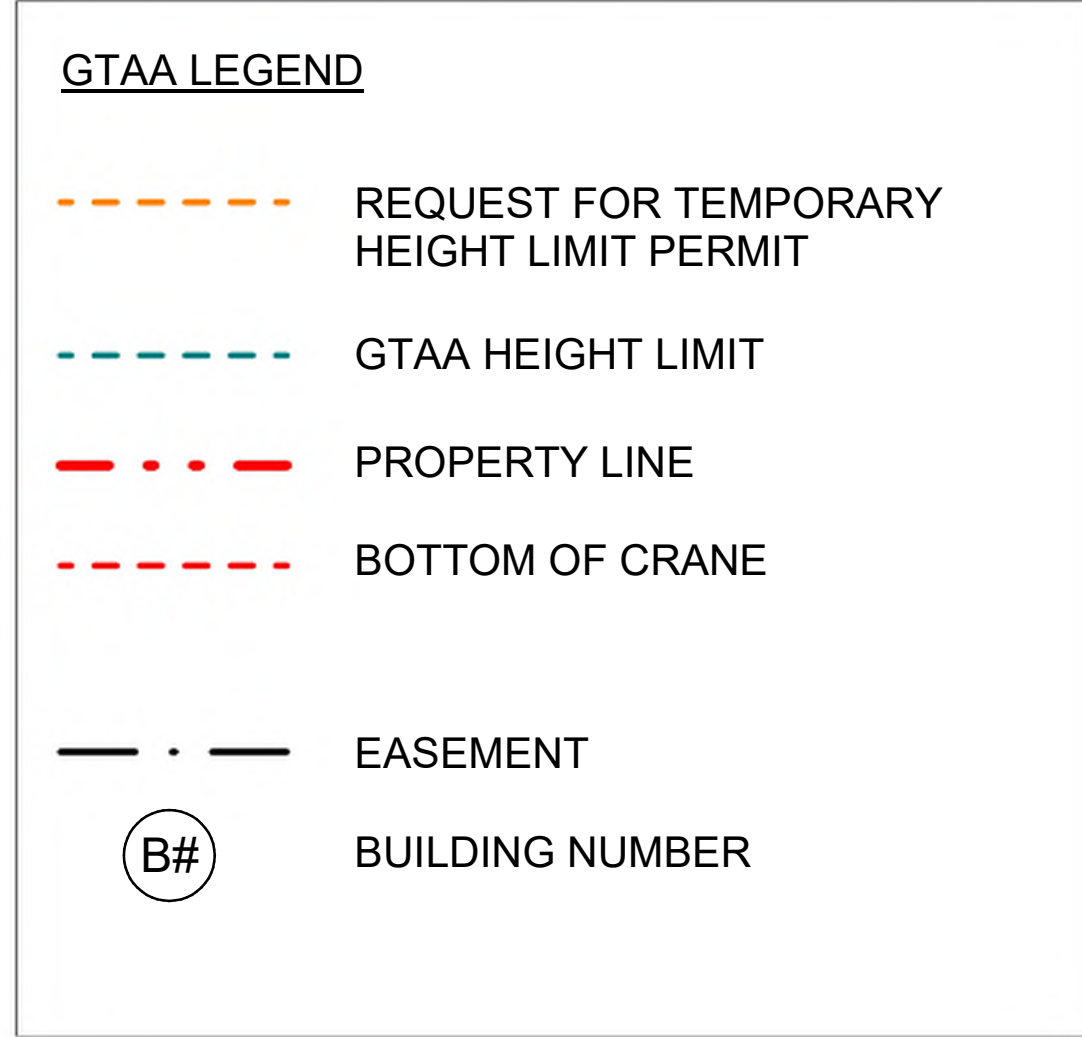
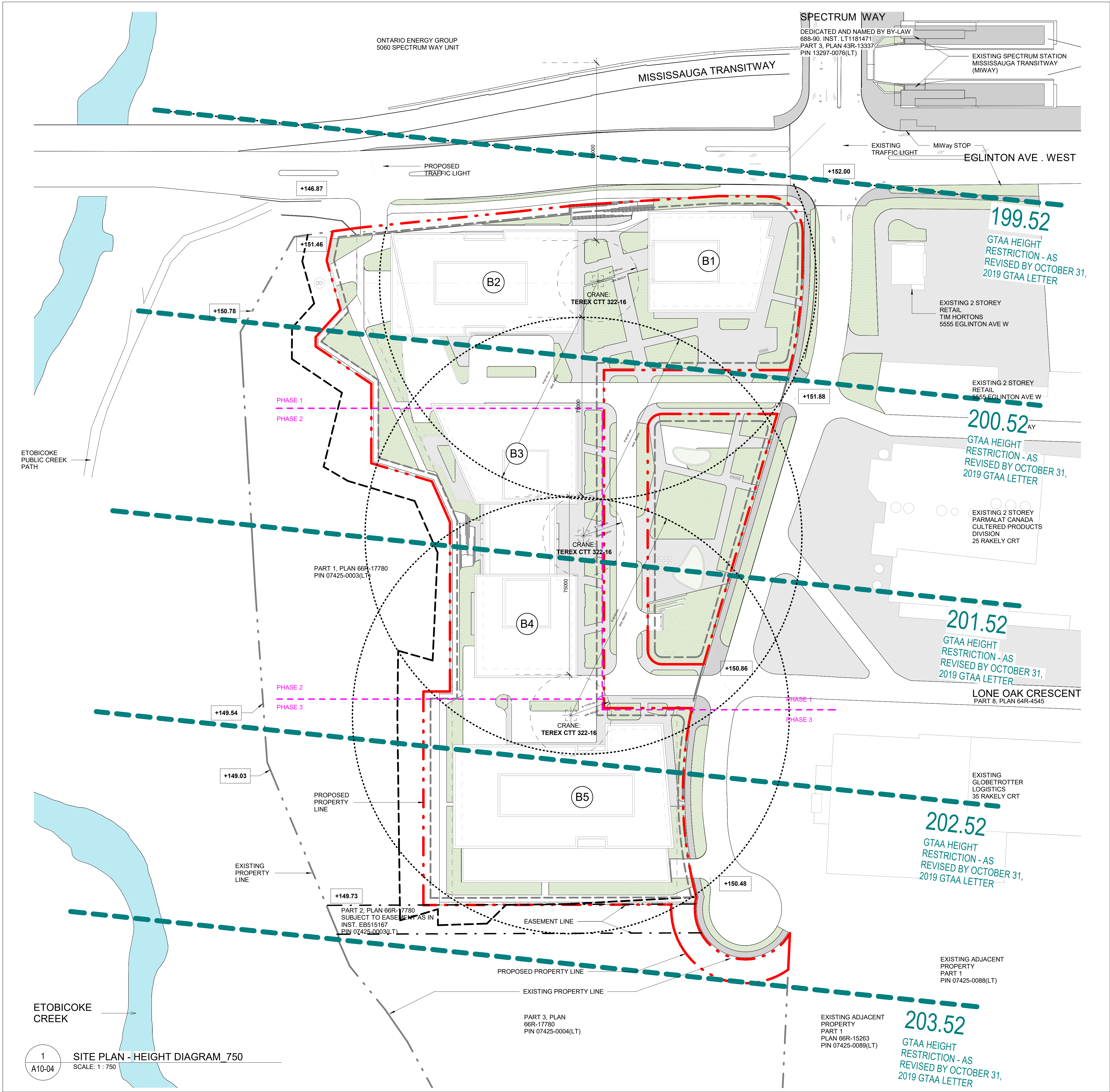
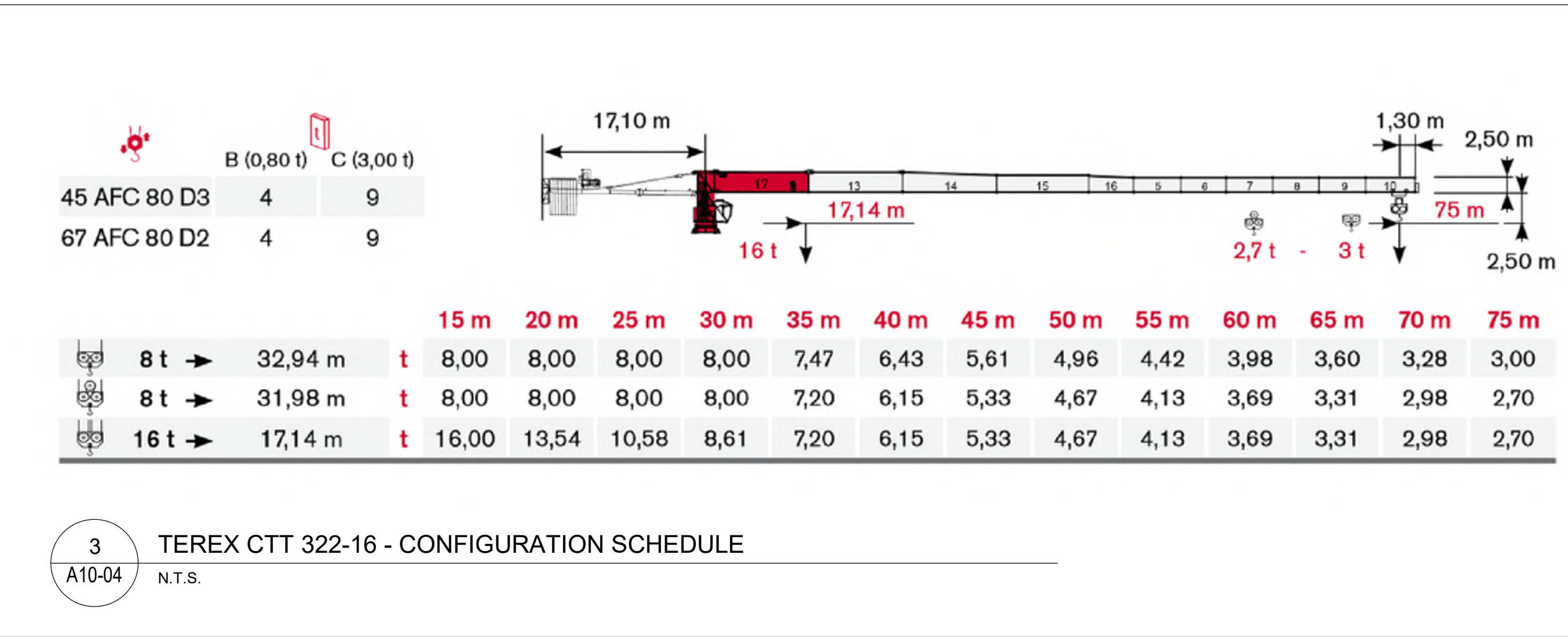
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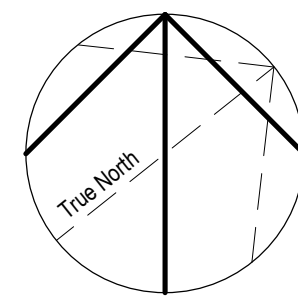
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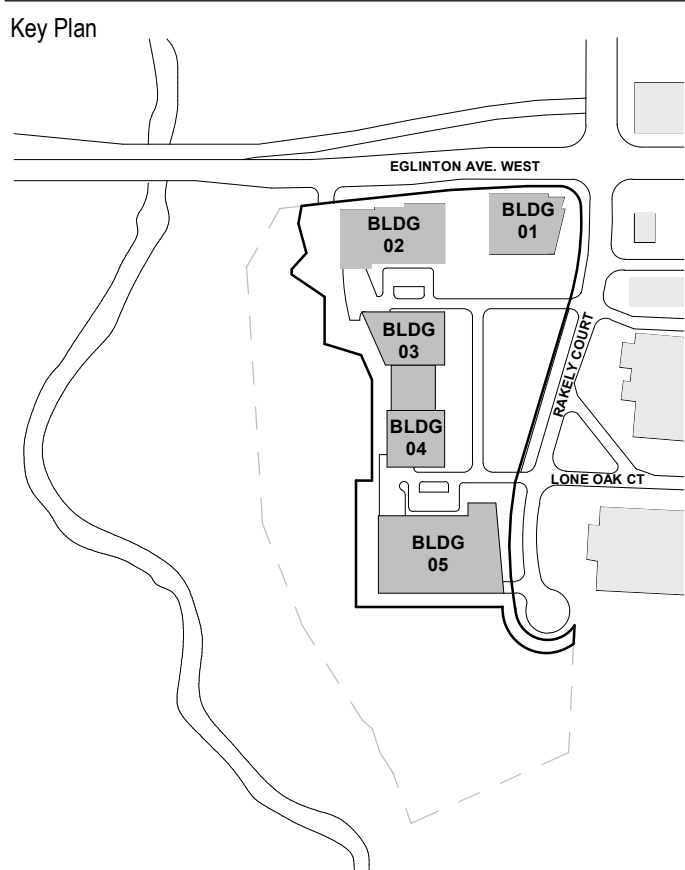
A10-03



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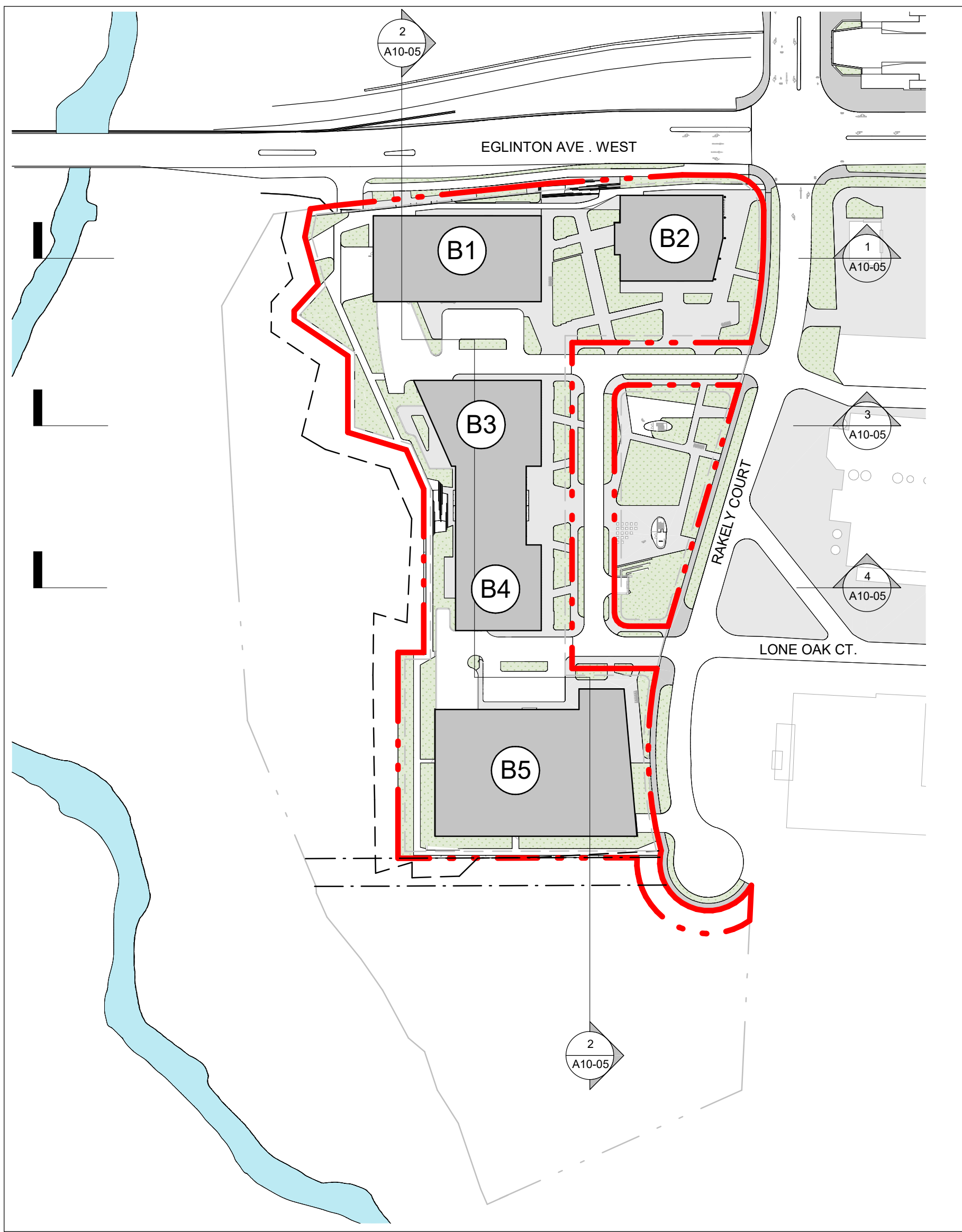
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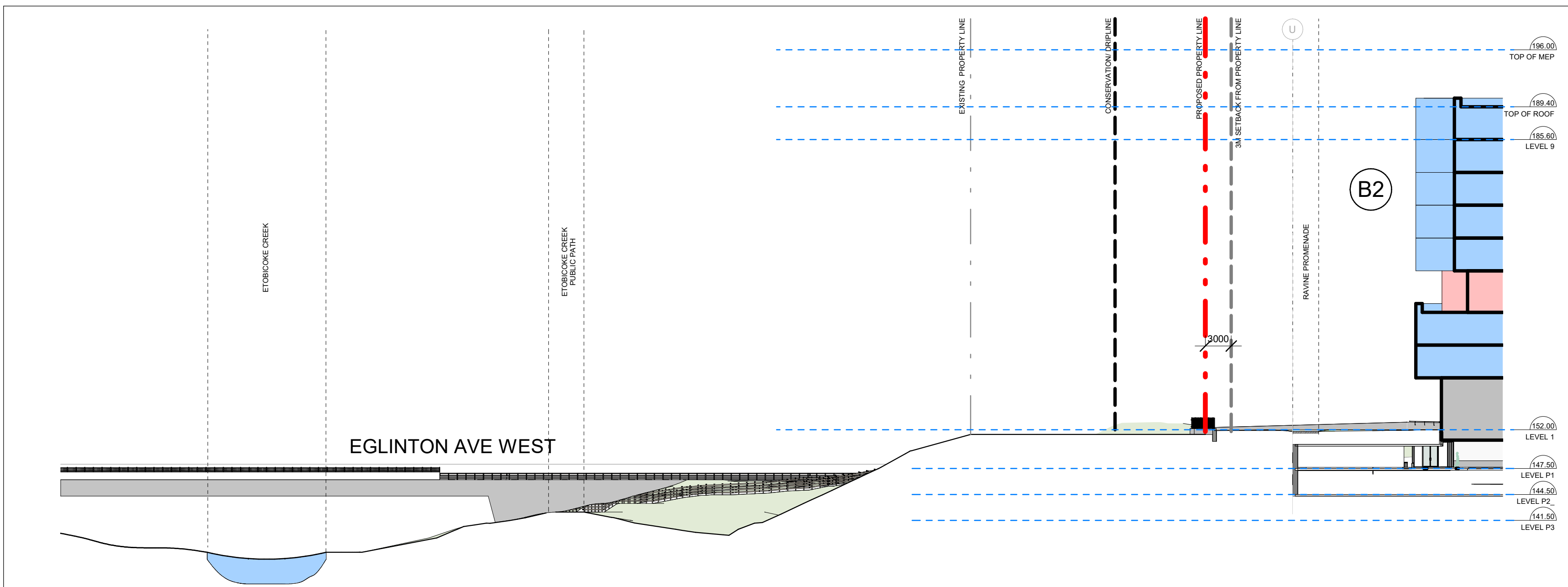
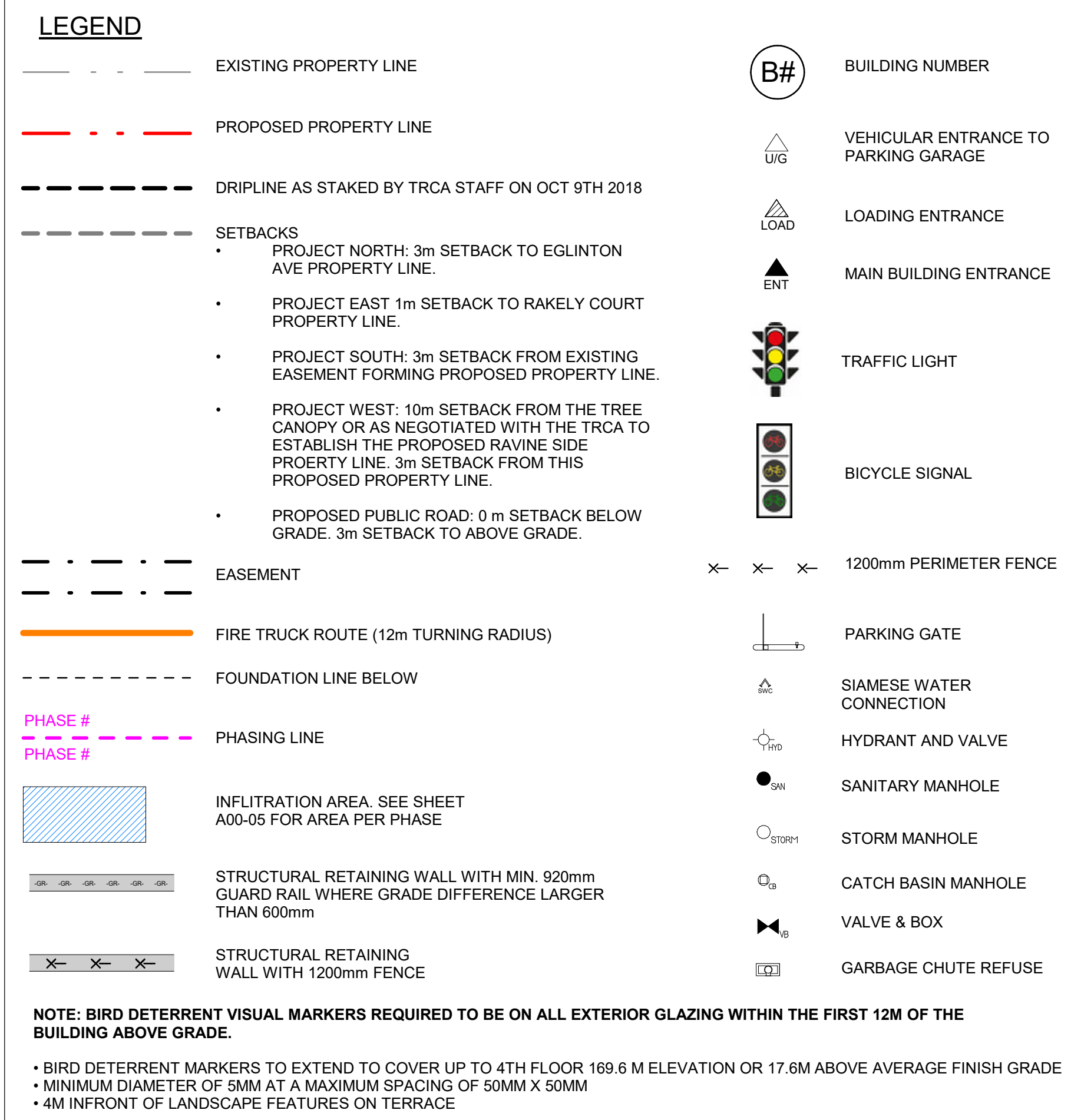
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Drawing Title
GTAA HEIGHT DIAGRAM

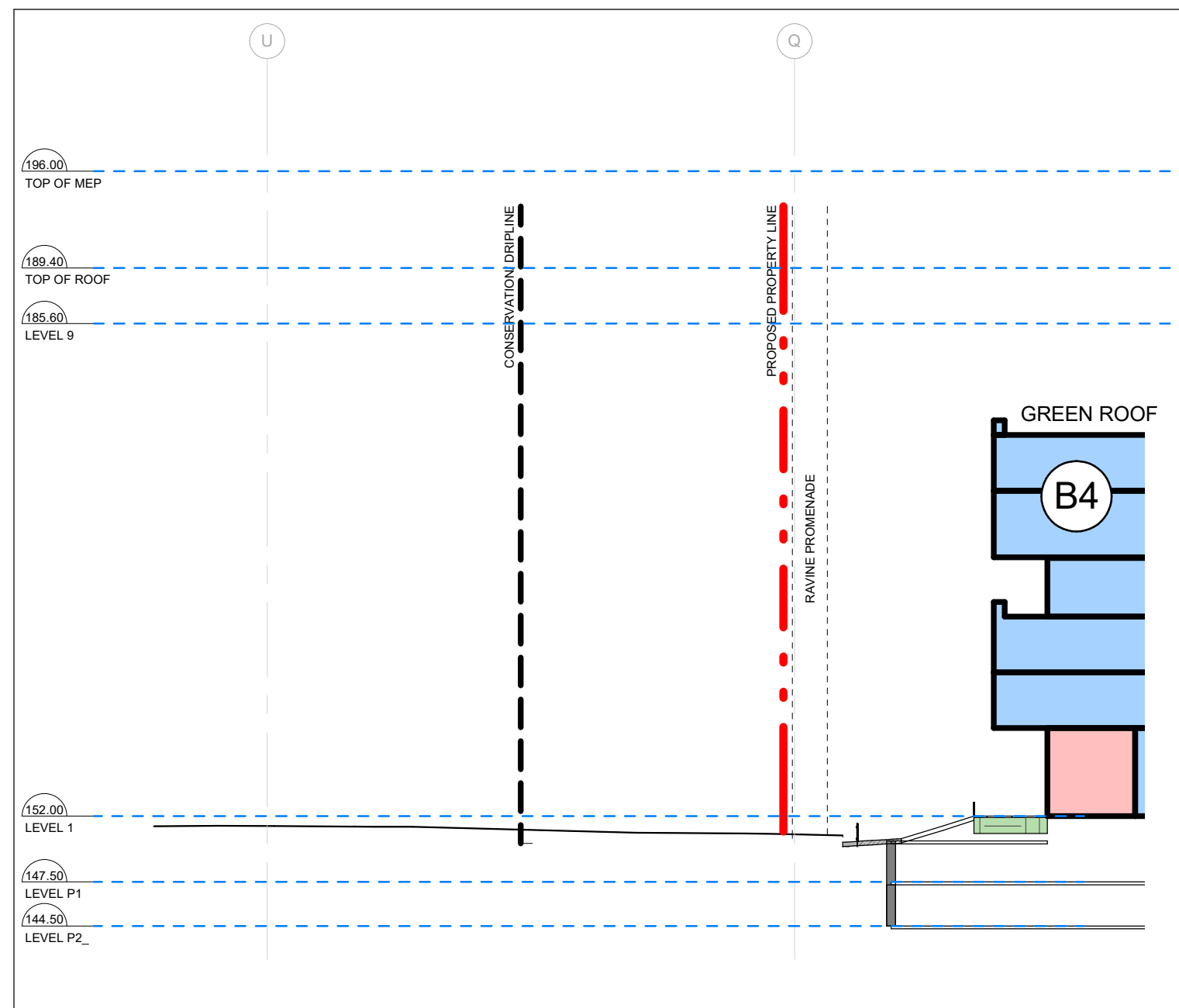
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Project No.	ONBL 18-0225
Drawing No.	A10-04



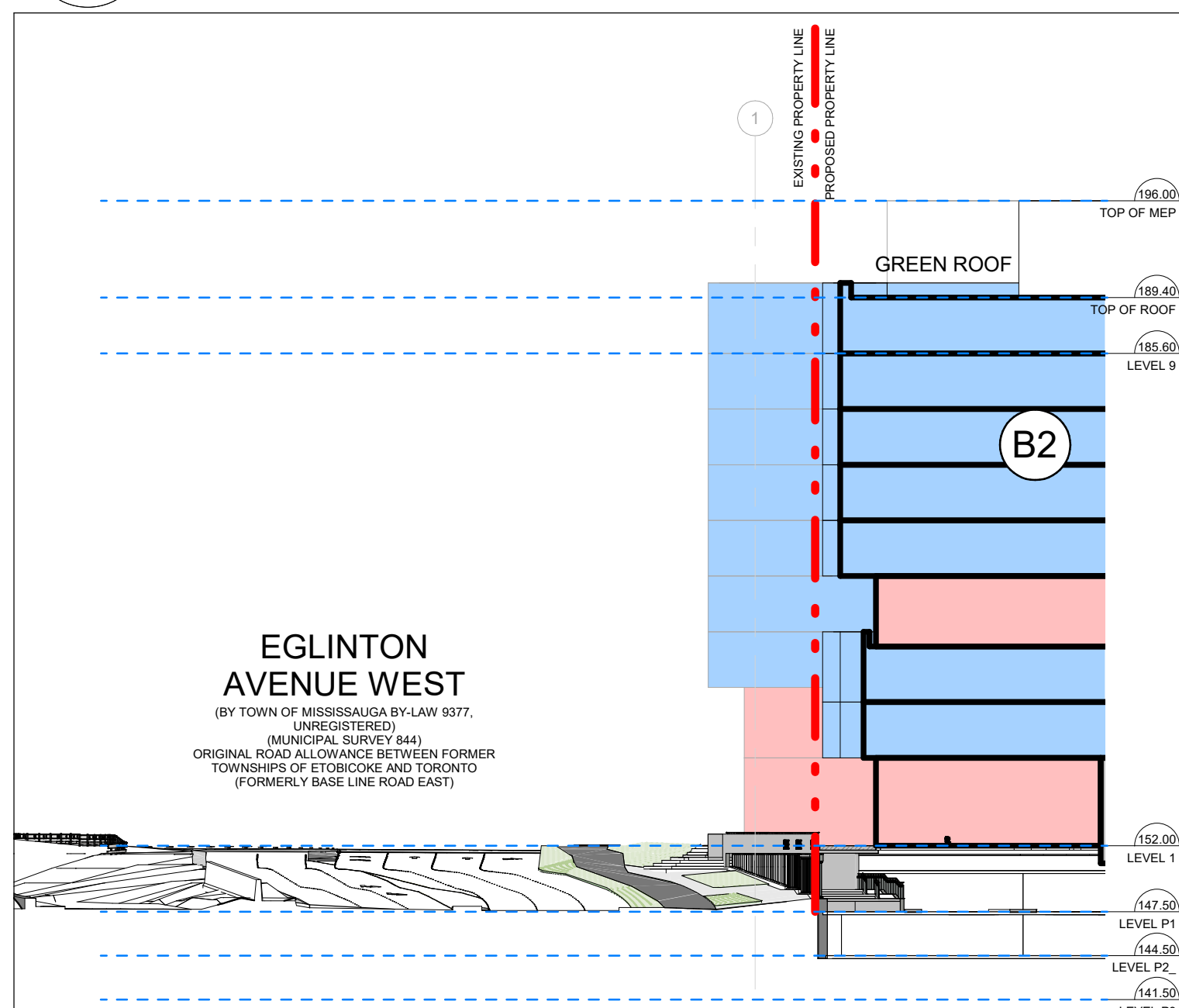
10 KEY PLAN - SECTION DIAGRAM
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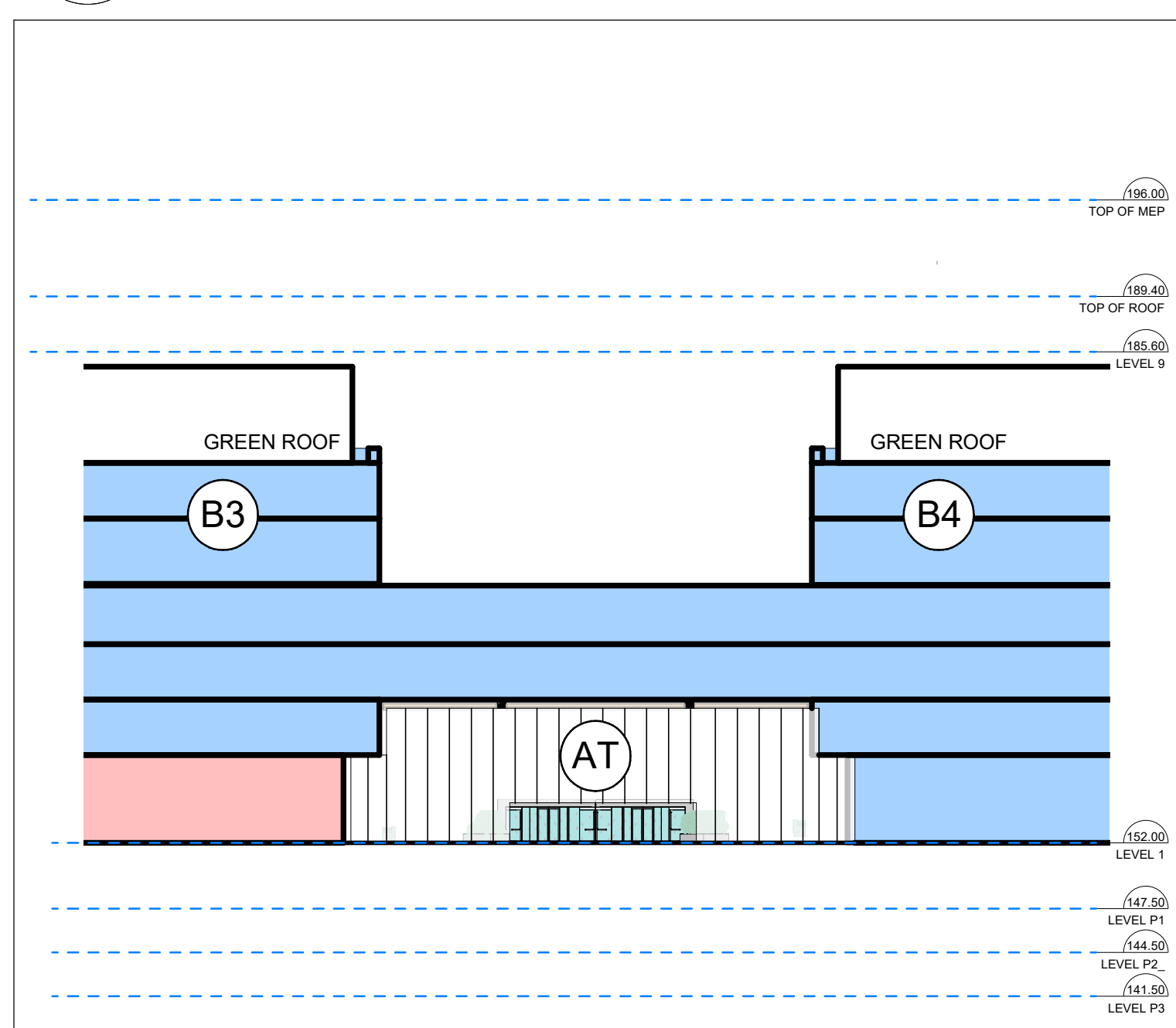
5 B1 RAVINE SITE SECTION
SCALE: 1:400



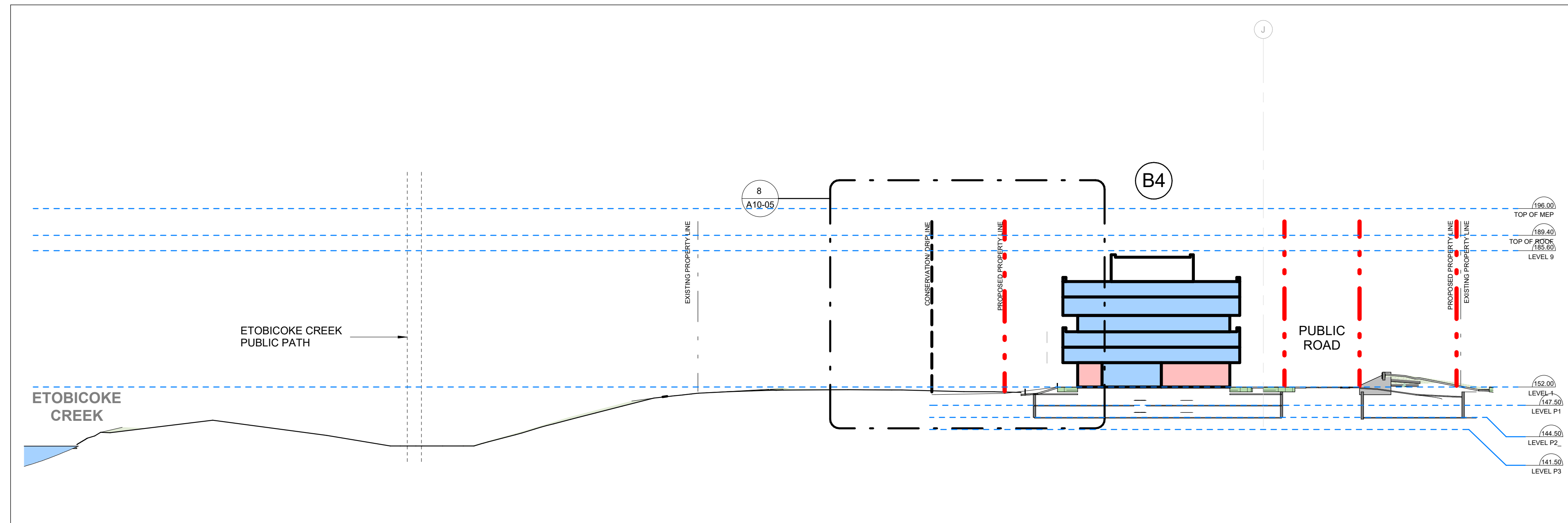
8 B4 RAVINE SITE SECTION
SCALE: 1:400



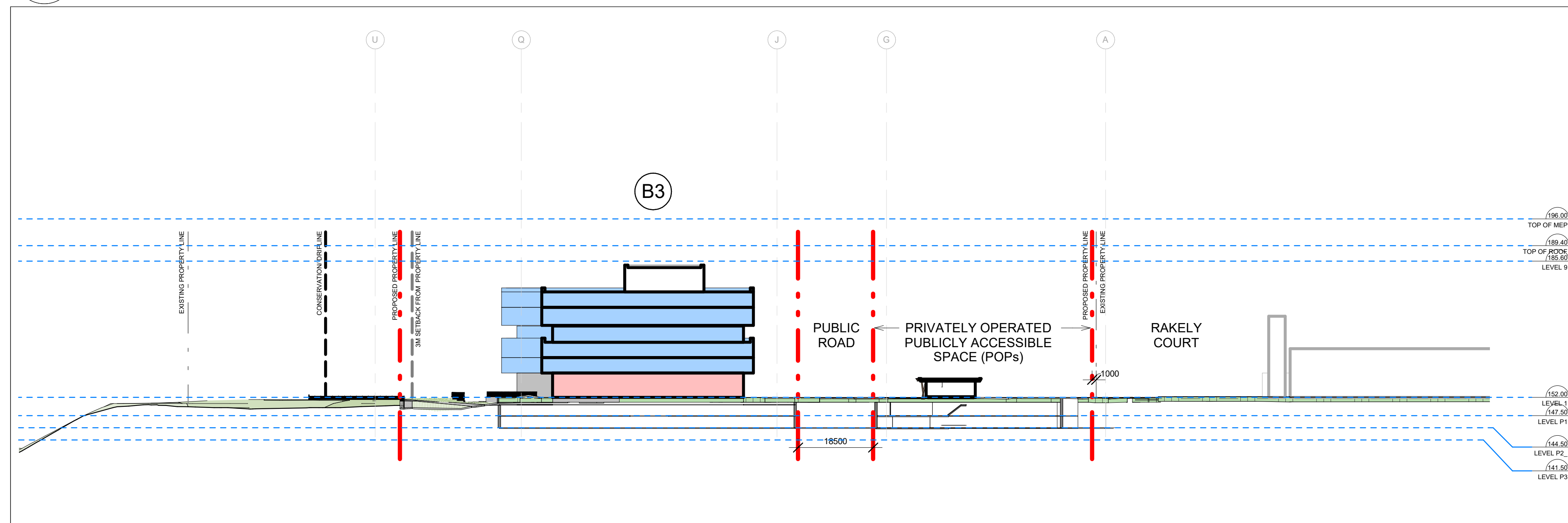
7 B2 PARKING ENTRANCE
SCALE: 1:400



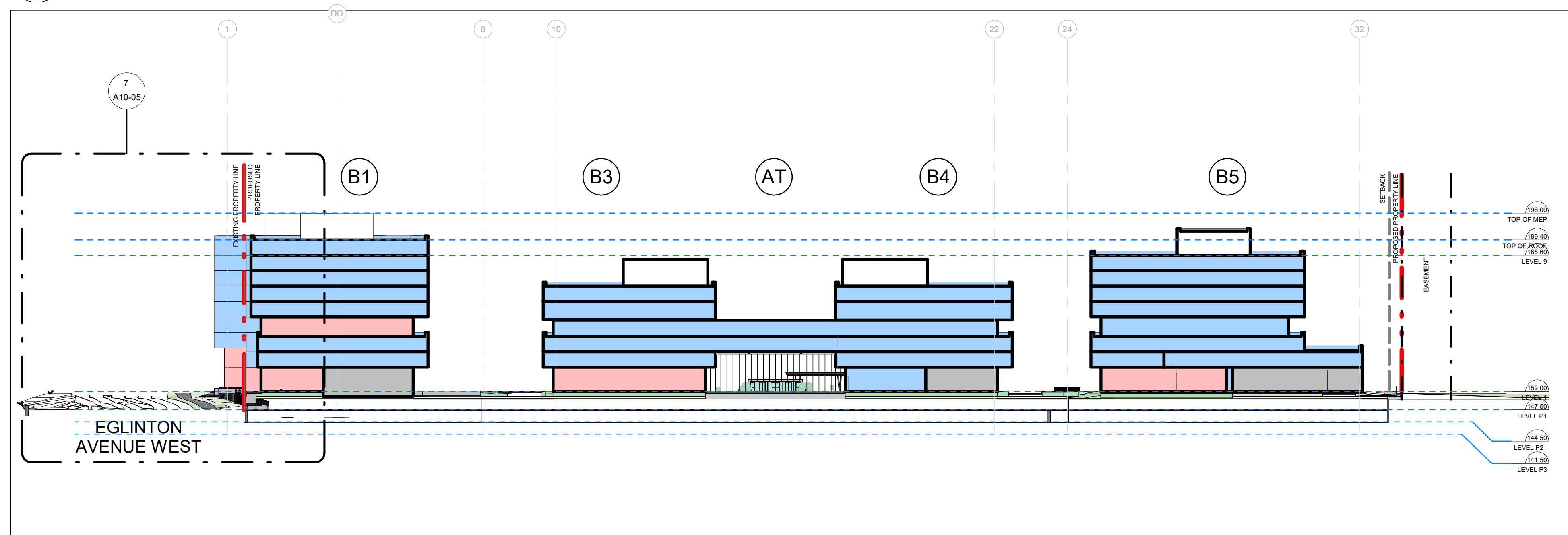
6 NORTH-SOUTH SECTION - B3 AND B4
SCALE: 1:400



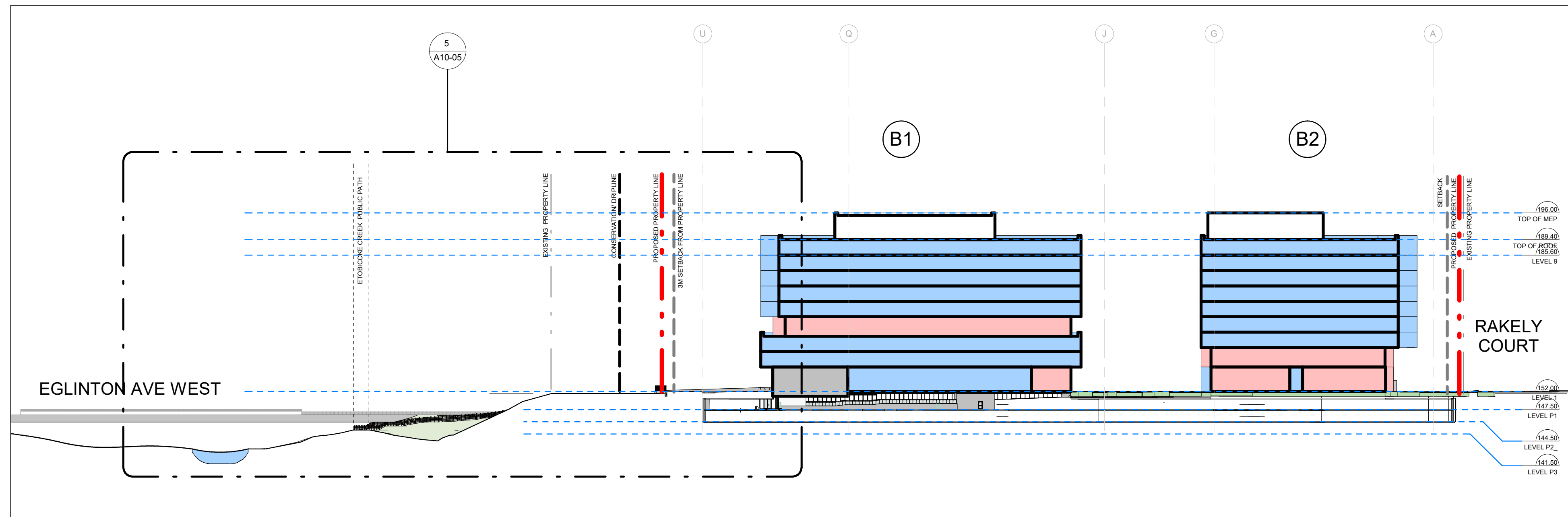
4 B4 SITE SECTION
SCALE: 1:750



3 B3 SITE SECTION
SCALE: 1:750

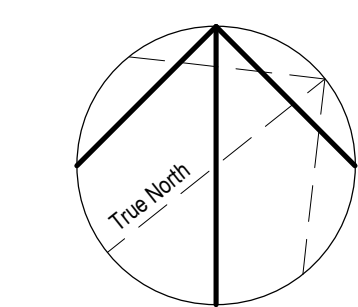


2 NORTH-SOUTH SECTION
SCALE: 1:750

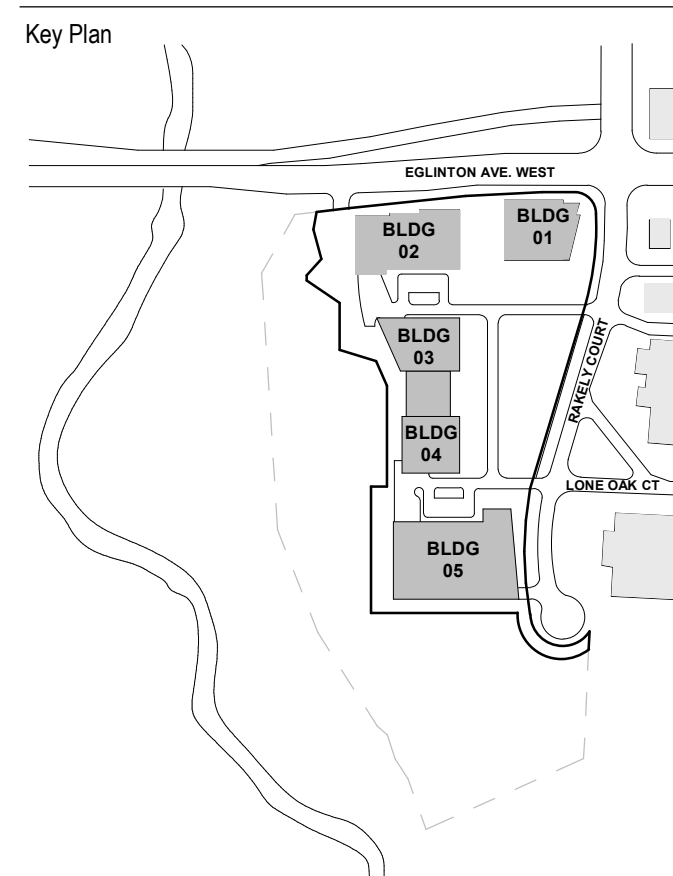


1 B1 & B2 SITE SECTION
SCALE: 1:750

DATE	ISSUED FOR
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2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT



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Centre, Limited Partnership**

Project
**40 RAKELY COURT,
TORONTO, ON, M9C 5A5**

Drawing Title
SITE SECTIONS

Scale
As indicated

Project No.
ONBL 18-0225

Drawing No.
A10-05

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
WG 21	Stormwater Management & Reuse	Retain 5 mm depth of rainfall on-site (10 mm required for Tier 2)	<input checked="" type="checkbox"/> Stormwater Report <input checked="" type="checkbox"/> Plans (Landscape, Grading, Roof and Green Roof details etc.) consistent with Stormwater Report	Plan #5.4.3 in FSR A10-02
WG 31	Total Suspended Solids (TSS)	Remove 80% of total suspended solids from all runoff leaving the site	<input checked="" type="checkbox"/> Stormwater Report	Plan #5.4.4 in FSR A10-02
WG 3.2	E. Coll. Reduction	Control E. Coll. directly entering Lake Ontario and waterfront areas	<input type="checkbox"/> Stormwater Report	Plan #N/A
WG 41	Drought-Tolerant Landscapes	Drought-tolerant plants used for 50% of the landscaped area	<input type="checkbox"/> Plant list identifies drought tolerant species (if applicable) <input type="checkbox"/> Notation indicates potable or non-potable irrigation system on landscape plan	Plan #To be provided for SPA

Tier 1: Ecology

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 11	Tree Planting Area and Soil Volume	Total volume of soil for tree planting areas* 40% of the site area divided by 66 m ² x 50 m ² . Each tree planting area has 30m ² of soil.	<input type="checkbox"/> TGS V3.0 statistics template <input type="checkbox"/> Notations indicate soil volume (soil depth and area), species and quantity for each planting area	Plan #To be provided for SPA
EC 12	Trees Along Street Frontages	Trees planted along street frontages with access to 30 m ² of soil/tree.	<input type="checkbox"/> Notations indicate soil volume (soil depth and area), species and quantity for each planting area. <input type="checkbox"/> Planting details	Plan #To be provided for SPA

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Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Complete in conjunction with the full Toronto Green Standard Version 3.0 (TGS V3.0) and Specifications.

Tier 1 performance measures are required by the City and must be included as part of your approved development application. Tier 2, 3 and 4 higher performance levels are voluntary and are associated with financial incentives. To determine eligibility for incentives go to www.toronto.ca/greendevelopment.

Performance Level: ☒ Tier 1 (Required) ☐ Tier 2 ☐ Tier 3 ☐ Tier 4

Application Information:

☐ Site Plan Control ☒ Zoning Bylaw Amendment ☐ Draft Plan of Subdivision

Application Number: _____ Date Received (yyyy-mm-dd): _____

Community Planner (First, Last Name): _____

Is this checklist received from an earlier submission? ☒ Yes ☐ No

Gross Floor Area (m²): 92,653m² Number of Storeys: 81+4-83-8-84-4-6-6-4-7-4 Number of Units: 414

Non Residential Gross Floor Area (m²): 92,653m²

Proposal Description (include a narrative of your project highlighting green attributes or performance measures): _____

Office space development comprising of five buildings, multi-story buildings varied in height from 4-8 stories, with retail at grade and a variety of open spaces.

Property and Applicant Information

Address of Subject Land (Street Name and Number): 40 RAKELY COURT, TORONTO, ON, M9C 5A5

Project Name: 40 RAKELY COURT

Applicant/Agent: _____

Name (First, Last Name): Anna Iannucci Business Telephone Number: 416-340-9004 ext 217

Business Email: aiannucci@urbanstrategies.com Registered Owner (First, Last Name): Rakely Eginton Corporate Centre LP

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Statistics Template - Toronto Green Standard Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.

For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.

For further information, please visit www.toronto.ca/greendevelopment

Checklist - Toronto Green Standards Version 3.0

Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section 1.492.1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/bylaws/mcode/1184_492.pdf

Green Roof Statistics - Phase 1, Building 2

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	10000
Total Roof Area (m ²)	10000
Area of Residential Private Terraces (m ²)	0
Rooftop Outdoor Amenity Space, if it is a Residential Building (m ²)	0
Area of Renewable Energy Devices (m ²)	0
Tower (w/Roof Area with floor plate less than 750 m ²)	0
Total Available Roof Space (m ²)	10000
Green Roof Coverage	Required Proposed
Coverage of Available Roof Space (m ²)	10000 10000
Coverage of Available Roof Space (%)	100% 100%

Green Roof Statistics - Phase 1, Building 1

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	10000
Total Roof Area (m ²)	10000
Area of Residential Private Terraces (m ²)	0
Rooftop Outdoor Amenity Space, if it is a Residential Building (m ²)	0
Area of Renewable Energy Devices (m ²)	0
Tower (w/Roof Area with floor plate less than 750 m ²)	0
Total Available Roof Space (m ²)	10000
Green Roof Coverage	Required Proposed
Coverage of Available Roof Space (m ²)	10000 10000
Coverage of Available Roof Space (%)	100% 100%

Gross Floor Area (Size of Building)

Coverage of Available Roof Space (Size of Green Roof)

2,000 - 4,999 square metres	20 percent
5,000 - 9,999 square metres	30 percent
10,000 - 14,999 square metres	40 percent
15,000 - 19,999 square metres	50 percent
20,000 square metres or greater	60 percent

Checklist - Toronto Green Standards Version 3.0

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	1390	1485	106.8%
Number of parking spaces dedicated for priority LEV parking	0	0	
Number of parking spaces with EVSE	371	378	101.8%

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	N/A	N/A	N/A
Number of short-term bicycle parking spaces (all other uses)	120	143	119.1%
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building			
b) second storey of building			
c) first level below-ground	120	143	119.1%
d) second level below-ground			
e) other levels below-ground			

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	N/A	N/A	N/A
Number of short-term bicycle parking spaces (all other uses)	154	185	120%
Number of male shower and change facilities (non-residential)	3	5	167%
Number of female shower and change facilities (non-residential)	3	5	167%

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m ²):		To be provided for SPA	

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	N/A	N/A	N/A
Number of short-term bicycle parking spaces (all other uses)	154	185	120%
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Number of female shower and change facilities (non-residential)	3	5	167%

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m ²):		To be provided for SPA	

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	N/A	N/A	N/A
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Number of female shower and change facilities (non-residential)	3	5	167%

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m ²):		To be provided for SPA	

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade			

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)			
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m ²)			
Area of non-roof hardscape treated with: (indicate m ²)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75%) (non-residential only)			

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m ²)			
Available Roof Space provided as Green Roof (m ²)			
Available Roof Space provided as Cool Roof (m ²)			
Available Roof Space provided as Solar Panels (m ²)			

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m ²)			
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m ² and %) (if applicable)			

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m ²)			
Total Soil Volume (40% of the site area + 66 m ² x 30 m ²)			
Total number of planting areas (minimum of 30m ² soil)			
Total number of trees planted			
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)			

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants			
Total number of native plants and % of total plants (min.50%)			

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)			
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m ²)			
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			
b) Visual markers			
c) Shading			

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m ²)			
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m ² and %) (if applicable)			

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m ²)			
Total Soil Volume (40% of the site area + 66 m ² x 30 m ²)			
Total number of planting areas (minimum of 30m ² soil)			
Total number of trees planted			
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)			

Checklist - Toronto Green Standards Version 3.0

Section 2: For Site Plan Control Applications

Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants			
Total number of native plants and % of total plants (min.50%)			

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)			
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m ²)			
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			
b) Visual markers			
c) Shading			

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 13	Parking Lots	I shade tree planted parking lots area for every 5 parking spaces	<input type="checkbox"/> Notations indicate soil volume (soil depth and area), species and quantity on the Planting Plan for parking areas	Plan #To be provided for SPA
EC 14	Watering Program	Watering program for trees.	<input type="checkbox"/> Notations on the Planting Plan include watering program methods and watering schedule	Plan #To be provided for SPA
EC 21	Revine Areas and Natural Heritage System	Natural Heritage System and the Ravine Protected Area planted with 100% native plants.	<input type="checkbox"/> Plant list identifies native or non-native species.	Plan #To be provided for SPA
EC 22	Ravine and Protected Area Buffer	Stewardship plan implemented for setbacks	<input checked="" type="checkbox"/> Stewardship Plan (if applicable)	Plan #See Tree Preservation Plan & Arbreol Report
EC 31	Native and Pollinator Supportive Species	Landscape includes 50% native plants. Glazing is an above rooftop vegetation is treated to reduce bird collisions.	<input type="checkbox"/> TGS V3.0 statistics template <input type="checkbox"/> Notations indicate common name, scientific name, size, quantity, stock type, and native or non-native species.	Plan #To be provided for SPA
EC 32	Invasive Species	No invasive species planted	<input type="checkbox"/> Plant list includes common name and scientific name.	Plan #To be provided for SPA
EC 41	Bird Friendly Glazing	85% of all exterior glazing within the required area is treated to reduce bird collisions. Fly-through conditions treated at all heights of the building	<input type="checkbox"/> TGS V3.0 statistics template <input checked="" type="checkbox"/> Notations indicate treated area required, type of treatment, density and colour <input checked="" type="checkbox"/> Summary table of bird friendly glass treatments for each elevation.	Plan #A10-03 - see legend for notes on bird friendly glazing. Further information to be provided at SPA

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Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

TGS Documentation includes the submission of the completed Tier 1 TGS Checklist and the Statistics template updated with each planning submission. All sections must be completed for SPA. The TGS Statistics template is provided on the Project Statistics Plan with each submission in Project Pursuing Tier 2, 3 and 4, a separate TGS High Performance checklist must be submitted.

Tier 1: Air Quality

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
TAQ 11	Single-Occupant Vehicle Trips	Reduce single occupancy vehicles trips by 5%.	<input checked="" type="checkbox"/> Transportation Impact Study (TIS) includes TDM analysis (if applicable)	Plan #See updated Transportation Impact Study
TAQ 12	LEV and Sustainable Mobility	Dedicate parking spaces above the minimum for low-emitting vehicles (LEV).	<input type="checkbox"/> TGS V3.0 statistics template <input type="checkbox"/> Summary table includes number and location of LEV spaces.	Plan #No parking spaces to be dedicated to combustion engines, and electric
TAQ 13	Electric Vehicle Infrastructure	Install EVSE for 20% of the parking spaces. Roughed-in conduits for the remaining spaces.	<input checked="" type="checkbox"/> TGS V3.0 statistics template <input checked="" type="checkbox"/> Project parking statistics include number and location of EVSE spaces. <input checked="" type="checkbox"/> Notations indicate location of EVSE spaces and roughed-in spaces on parking plans.	Plan #A20-01 A20-02
TAQ 21	Bicycle Parking Rates	Bicycle parking rates in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> TGS V3.0 statistics template <input checked="" type="checkbox"/> Project statistics include rates, number and type (long-term/short-term) of bicycle parking spaces. <input checked="" type="checkbox"/> Summary table includes number, type and % of net floor area occupied by bicycle parking for each bicycle parking floor and at-grade.	Plan #A20-02
TAQ 22	Long-term Bicycle Parking Location	Long-term bicycle parking in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> Notations indicate the number of long-term parking spaces in each bicycle parking area.	Plan #A20-01

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Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 42	Rooftop Vegetation	Establish a m above rooftop vegetation is treated to reduce bird collisions.	<input checked="" type="checkbox"/> Notations indicate treated area, type of treatment, density and colour of visual markers.	Plan #A10-03 - see legend for notes on bird friendly glazing. Further information to be provided at SPA
EC 43	Grate Porosity	Maximum porosity of ventilation grates is 20 mm x 20 mm	<input type="checkbox"/> Notations indicate porosity of ground level grates.	Plan #To be provided for SPA
EC 51	Exterior Lighting	Dark Sky compliant fixtures.	<input type="checkbox"/> Notations indicate Dark Sky compliant fixtures.	Plan #To be provided for SPA

Tier 1: Solid Waste

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
SW 11	Waste Collection & Sorting	Waste sorting system for garbage, recycling and organics. (Residential)	<input type="checkbox"/> Notations indicate type and location of waste sorting system.	Plan #N/A
SW 12	Waste Storage Space	Waste storage rooms	<input checked="" type="checkbox"/> Notations indicate area and location of waste storage rooms.	Plan #A20-01 A20-01
SW 13	Bulky Waste	Provide 10m ² for bulky and special collection items. (Residential)	<input type="checkbox"/> Notations indicate area and location for bulky items collection.	Plan #N/A
SW 14	Compaction	Waste storage room with space for containers and the compactor unit. (Residential)	<input type="checkbox"/> Notations indicate area and location of waste storage rooms and compactor unit.	Plan #N/A

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Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
TAQ 23	Short-term Bicycle Parking Location	Short-term bicycle parking in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> Notations indicate location and the number of short-term spaces in each bicycle parking area.	Plan #A10-02 A20-01
TAQ 24	Shower & Change Facilities	Shower and change facilities in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> Notations indicate location and change facilities.	Plan #A20-01
TAQ 31	Connectivity	Pedestrian walkways	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan #A20-01
TAQ 32	Sidewalk Space	Minimum 2 meter pedestrian clearance	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan #A10-02
TAQ 33	Weather Protection	Covered outdoor waiting areas	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan #A20-01
TAQ 34	Pedestrian Lighting	Pedestrian-scale lighting	<input type="checkbox"/> Notations on Plans and Drawings.	Plan #To be provided for SPA
TAQ 41	LHI Non-roof Hardscape	Treat 50% of non-roof hardscape to reduce the urban heat island (75% required for Tier 2). OR 75% of the required parking spaces under cover (non-residential only)	<input type="checkbox"/> TGS V3.0 statistics template <input checked="" type="checkbox"/> Materials list includes SRI of high albedo paving <input type="checkbox"/> Notations indicate location of treated hardscape	Plan #To be provided for SPA

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Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
SW 31	Construction Waste Management	Manage construction and demolition waste in accordance with O. Reg. 103/94	<input type="checkbox"/> Documentation in accordance with O. Reg. 103/94	Plan #To be provided for SPA

Checklist - Toronto Green Standards Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
AQ 42	Green & Cool Roofs	One of the following is provided (select all that apply): <input checked="" type="checkbox"/> Green Roof required under the Green Roof By-Law <input checked="" type="checkbox"/> Green roof for 50% of roof. Cool roof material for 100% of roof. <input type="checkbox"/> A combination of a green roof, and cool roof and solar panels for at least 75% of roof.	<input type="checkbox"/> TGS V3.0 statistics template <input checked="" type="checkbox"/> Green Roof Statistics Template on A10-06, and drawings A10-05 & A20-08 <input type="checkbox"/> Notations indicate green roof locations identified on elevations and roof plans. <input type="checkbox"/> Notations include SRI of cool roof on roof plan and location of solar panels.	Plan #See Green Roof Statistics Template on A10-06, and drawings A10-05 & A20-08

Tier 1: Energy Efficiency, GHGs & Resilience

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
GHG 11	Buildings Energy Performance	Design the building to achieve 5% improvement above CBC, SB-9, Division 3.1.007. OR TGS, TGS and GHG targets by building type. (required for Tier 2)	<input checked="" type="checkbox"/> Energy (Modeling) Report and Energy Workbook prior to NOAC (if applicable)	Plan #See revised Energy Modeling Report

Tier 1: Water Balance, Quality & Efficiency

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
WG 11	Erosion & Sediment Control	Apply the Erosion and Sediment Control Guidelines	<input checked="" type="checkbox"/> Notations on Plans and Drawings	Plan #See revised Functional Servicing Report & Erosion SDC

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Checklist - Toronto Green Standards Version 3.0

Green Roof Statistics

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Green Roof Statistics - Phase 3, Building 5

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	10000
Total Roof Area (m ²)	10000
Area of Residential Private Terraces (m ²)	0
Rooftop Outdoor Amenity Space, if it is a Residential Building (m ²)	0
Area of Renewable Energy Devices (m ²)	0
Tower (w/Roof Area with floor plate less than 750 m ²)	0
Total Available Roof Space (m ²)	10000
Green Roof Coverage	Required Proposed
Coverage of Available Roof Space (m ²)	10000 10000
Coverage of Available Roof Space (%)	100% 100%

Gross Floor Area (Size of Building)

Coverage of Available Roof Space (Size of Green Roof)

2,000 - 4,999 square metres	20 percent
5,000 - 9,999 square metres	30 percent
10,000 - 14,999 square metres	40 percent
15,000 - 19,999 square metres	50 percent
20,000 square metres or greater	60 percent

Checklist - Toronto Green Standards Version 3.0

Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section 1.492.1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/bylaws/mcode/1184_492.pdf

Green Roof Statistics - Phase 2, Building 4

</

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

- PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE
- PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE
- PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE
- PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED RAVINE SIDE PROPERTY LINE: 3m SETBACK FROM THIS PROPOSED PROPERTY LINE
- PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE: 3m SETBACK TO ABOVE GRADE

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #
PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

VEHICULAR ENTRANCE TO PARKING GARAGE

LOAD

ENT

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

PARKING GATE

SIAMSESE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

OFFICE CIRCULATION

RETAIL

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC TEL

SHOWERS

UIG PARKING

STORAGE

BIKE

CISTERN

CAR WASH

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE

- BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE
- MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM
- 4M INFRONT OF LANDSCAPE FEATURES ON TERRACE

PARKING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

200.15.1 GENERAL

C) VERTICAL CLEARANCE OF 2.1 METRES MINIMUM. [BY-LAW: 579-2017]

ELECTRIC VEHICLE INFRASTRUCTURE

20 PERCENT OF THE PARKING SPACES TO BE SUPPLIED WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

ALL PARKING SPACES MUST BE DESIGNED TO PERMIT FUTURE EVSE INSTALLATION.

LOADING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

BICYCLE PARKING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

1

A20-0P1

LEVEL P1_400

SCALE: 1 : 400

1

A20-0P1

LEVEL P1_400

SCALE: 1 : 400

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT

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Consultants:	R.J. BURDISE & ASSOCIATES LIMITED
Civil:	JANET ROSENBERG & STUDIO INC.
Landscaping:	NORR ARCHITECTS AND ENGINEERS LIMITED
Architecture:	NORR ARCHITECTS AND ENGINEERS LIMITED
Structural:	NORR ARCHITECTS AND ENGINEERS LIMITED
Mechanical:	NORR ARCHITECTS AND ENGINEERS LIMITED
Electrical:	NORR ARCHITECTS AND ENGINEERS LIMITED
Traffic:	BA CONSULTING GROUP LTD.
Planning:	URBAN STRATEGIES INC.
Consultant:	GABRIEL FAIN ARCHITECTS INC.

NORR

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An Ingenium Group Company

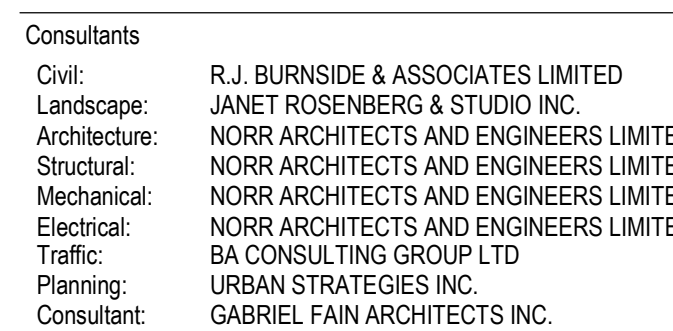
175 Bloor St. East
North Tower, 15th Floor
Toronto, ON Canada M4W 3R8
norr.com

Client
Rakely Eglinton Corporate Centre, Limited Partnership

Project
40 RAKELY COURT, TORONTO, ON, M9C 5A5

Drawing Title
LEVEL P1

Scale	As indicated
Project No.	ONBL 18-0225
Drawing No.	A20-0P1



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Project
40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Scale

As indicated

Project No. ONBL 18-0225

Drawing No. **A20-0P2**

PARKING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

200.15.1 GENERAL

C) VERTICAL CLEARANCE OF 2.1 METRES MINIMUM. [BY-LAW: 579-2017]

ELECTRIC VEHICLE INFRASTRUCTURE

20 PERCENT OF THE PARKING SPACES TO BE SUPPLIED WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).
ALL PARKING SPACES MUST BE DESIGNED TO PERMIT FUTURE EVSE INSTALLATION.

The diagrams show five parking space configurations, each with a height of 2000 mm and a width of 3600 mm. The first four show different obstruction patterns (hatched, dashed, or solid lines) indicating where EVSE equipment can be installed. The fifth diagram shows a dedicated EVSE parking stall with a charging station icon.

TYPICAL BARRIER FREE PARKING SPACE

TYPICAL PARKING SPACE TWO SIDES OBSTRUCTED

TYPICAL PARKING SPACE ONE SIDE OBSTRUCTED

TYPICAL PARKING SPACE NO OBSTRUCTIONS

EVSE PARKING STALL

LOADING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2019, AS AMENDED (MAY 1ST, 2020)

BICYCLE PARKING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

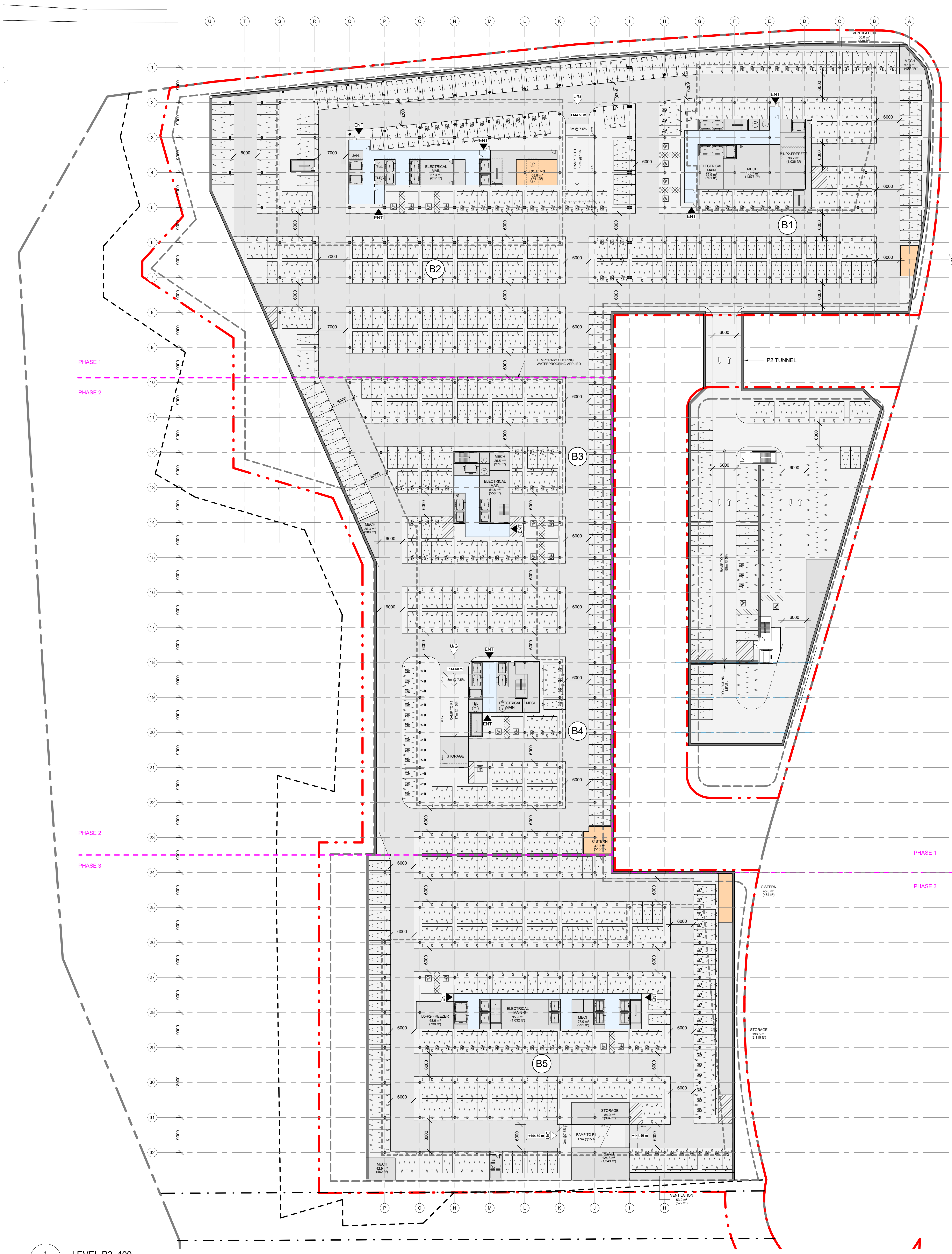
The diagrams show four types of parking spaces. The first two are loading spaces with a height of 3000 mm and a width of 3000 mm. The last two are bicycle parking spaces with a height of 2000 mm and a width of 1500 mm. The bicycle parking spaces show different rack configurations and clearances.

LOADING TYPE C
MIN VERTICAL CLEARANCE 3.0m

LOADING TYPE B
MIN VERTICAL CLEARANCE 4.0m

TYPICAL VERTICAL BICYCLE PARKING RACK

TYPICAL STACKED BICYCLE PARKING SPACE



LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

- PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE.
- PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE.
- PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE.
- PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED RAVINE SIDE PROPERTY LINE. 3m SETBACK FROM THIS PROPOSED PROPERTY LINE.
- PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE. 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #

PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

VEHICULAR ENTRANCE TO PARKING GARAGE

LOADING ENTRANCE

ENT

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

PARKING GATE

SIAMSE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

OFFICE CIRCULATION

RETAIL

REFUSE

LOADING

ELEVATORS

LOBBY CIRCULATION

STAIRS

SERVICE

MECH

ELECITEL

MAIL ROOM

CACF

UIG PARKING

STORAGE

WASHROOMS

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

- BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE
- MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM
- 4M INFRONT OF LANDSCAPE FEATURES ON TERRACE

PARKING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

200.15.1 GENERAL

C) VERTICAL CLEARANCE OF 2.1 METRES MINIMUM [BY-LAW: 579-2017]

ELECTRIC VEHICLE INFRASTRUCTURE

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TYPICAL BARRIER FREE PARKING SPACE

TYPICAL PARKING SPACE TWO SIDES OBSTRUCTED

TYPICAL PARKING SPACE ONE SIDE OBSTRUCTED

TYPICAL PARKING SPACE NO OBSTRUCTIONS

EVSE PARKING STALL

LOADING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

LOADING TYPE C

MIN. VERTICAL CLEARANCE 3.0m

LOADING TYPE B

MIN. VERTICAL CLEARANCE 4.0m

BICYCLE PARKING SPACE REQUIREMENTS

BASED ON CITY OF TORONTO ZONING BY-LAW 569-2013, AS AMENDED (MAY 1ST, 2020)

TYPICAL VERTICAL BICYCLE PARKING RACK

TYPICAL STACKED BICYCLE PARKING SPACE

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DAMING WALL

BUILDING USAGE LEGEND

OFFICE CIRCULATION

RETAIL

REFUSE

LOADING

ELEVATORS

LOBBY CIRCULATION

STAIRS

SERVICE

MECH

ELECITEL

MAIL ROOM

CACF

UIG PARKING

STORAGE

WASHROOMS

1 LEVEL 1
A20-01 SCALE: 1: 400

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT

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Key Plan

CONSULTANTS

Civil

Landscaping

Structural

Mechanical

Electrical

Planning

Consultant

R.J. BURNSIDE & ASSOCIATES LIMITED

JANET ROSENBERG & STUDIO INC.

NORR ARCHITECTS AND ENGINEERS LIMITED

NORR ARCHITECTS AND ENGINEERS LIMITED

NORR ARCHITECTS AND ENGINEERS LIMITED

BA CONSULTING GROUP LTD

URBAN STRATEGIES INC.

GABRIEL FAIN ARCHITECTS INC.

Seal(s)

UNION OF ARCHITECTS

PROFESSIONAL DESIGNER

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Client
Rakely Eglington Corporate
Centre, Limited Partnership

Project
40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Drawing Title
LEVEL 1

Scale
As indicated

Project No.
ONBL 18-0225

Drawing No.
A20-01

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE.

PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE.

PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE.

PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED RAVINE SIDE PROPERTY LINE. 3m SETBACK FROM THIS PROPOSED PROPERTY LINE.

PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE. 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #

PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

VEHICULAR ENTRANCE TO PARKING GARAGE

LOADING ENTRANCE

ENT

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

PARKING GATE

SIAMSESE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

OFFICES

OFFICE CIRCULATION

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC/TEL

STORAGE

WASHROOMS

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE

MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM

4M INFRONT OF LANDSCAPE FEATURES ON TERRACE

BUILDING USAGE LEGEND

OFFICES

OFFICE CIRCULATION

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC/TEL

STORAGE

WASHROOMS

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DAMPING WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

2

A20-03

LEVEL 3

SCALE: 1 : 400

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT

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Architecture	NORR ARCHITECTS AND ENGINEERS LIMITED
Structural	NORR ARCHITECTS AND ENGINEERS LIMITED
Mechanical	NORR ARCHITECTS AND ENGINEERS LIMITED
Electrical	NORR ARCHITECTS AND ENGINEERS LIMITED
Traffic	BA CONSULTING GROUP LTD
Planning	URBAN STRATEGIES INC.
Consultant	GABRIEL FAIN ARCHITECTS INC.

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Client
Rakely Eglinton Corporate Centre, Limited Partnership

Project
40 RAKELY COURT, TORONTO, ON, M9C 5A5

Drawing Title
LEVEL 3

Scale	1 : 400
Project No.	ONBL 18-0225
Drawing No.	A20-03

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

- PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE
- PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE
- PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE
- PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED RAVINE SIDE PROPERTY LINE. 3m SETBACK FROM THIS PROPOSED PROPERTY LINE
- PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE. 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #
PHASE #

INFILTRATION AREA SEE SHEET A20-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

BUILDING NUMBER

VEHICULAR ENTRANCE TO PARKING GARAGE

LOADING ENTRANCE

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

SIAMESE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

OFFICES

OFFICE CIRCULATION

RETAIL

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC/TEL

STORAGE

WASHROOMS

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

- BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE
- MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM
- 4M IN FRONT OF LANDSCAPE FEATURES ON TERRACE

BUILDING USAGE LEGEND

OFFICES

OFFICE CIRCULATION

RETAIL

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC/TEL

STORAGE

WASHROOMS

750

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

1700

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

3200

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

4400

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DIMAZING WALL

750

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

1700

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

3200

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

4400

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DIMAZING WALL

1
A20-04

LEVEL 4
SCALE: 1 : 400

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT

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Structural	NORR ARCHITECTS AND ENGINEERS LIMITED
Mechanical	NORR ARCHITECTS AND ENGINEERS LIMITED
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Planning	URBAN STRATEGIES INC.
Consultant	GABRIEL FAIN ARCHITECTS INC.

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Client
Rakely Eglinton Corporate Centre, Limited Partnership

Project
40 RAKELY COURT, TORONTO, ON, M9C 5A5

Drawing Title
LEVEL 4

Scale	1 : 400
Project No.	ONBL 18-0225
Drawing No.	A20-04

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

- PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE
- PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE
- PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE
- PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED RAVINE SIDE PROPERTY LINE: 3m SETBACK FROM THIS PROPOSED PROPERTY LINE
- PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE. 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #
PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL, WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

VEHICULAR ENTRANCE TO PARKING GARAGE

LOAD

ENT

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

SIAMESE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

OFFICES

OFFICE CIRCULATION

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC/TEL

SHOWERS

WASHROOMS

OPEN TO BELOW

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

- BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE
- MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM
- 4M INFRONT OF LANDSCAPE FEATURES ON TERRACE

BUILDING USAGE LEGEND

OFFICES

OFFICE CIRCULATION

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC/TEL

SHOWERS

WASHROOMS

OPEN TO BELOW

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DAMPING WALL

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DAMPING WALL

1
A20-05

LEVEL 5
SCALE: 1 : 400

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT

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Electrical	NORR ARCHITECTS AND ENGINEERS LIMITED
Traffic	BA CONSULTING GROUP LTD
Planning	URBAN STRATEGIES INC.
Consultant	GABRIEL FAIN ARCHITECTS INC.

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Client
Rakely Eglinton Corporate Centre, Limited Partnership

Project
40 RAKELY COURT, TORONTO, ON, M9C 5A5

Drawing Title
LEVEL 5

Scale	1 : 400
Project No.	ONBL 18-0225
Drawing No.	A20-05

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

- PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE.
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- PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE. 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

PHASE #

PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

BUILDING NUMBER

VEHICULAR ENTRANCE TO PARKING GARAGE

LOADING ENTRANCE

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

PARKING GATE

SIAMESE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

OFFICES

OFFICE CIRCULATION

REFUSE

ELEVATORS

STAIRS

SERVICE

MECH

ELEC/TEL

SHOWERS

WASHROOMS

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

- BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE
- MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM
- 4M INFRONT OF LANDSCAPE FEATURES ON TERRACE

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DMIZING WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

BUILDING USAGE LEGEND

- OFFICES
- OFFICE CIRCULATION
- REFUSE
- ELEVATORS
- STAIRS
- SERVICE
- MECH
- ELEC/TEL
- SHOWERS
- WASHROOMS

DATE 2022-10-03 ISSUED FOR ZONING BY-LAW AMENDMENT

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Architecture: NORR ARCHITECTS AND ENGINEERS LIMITED
Structural: NORR ARCHITECTS AND ENGINEERS LIMITED
Mechanical: NORR ARCHITECTS AND ENGINEERS LIMITED
Electrical: NORR ARCHITECTS AND ENGINEERS LIMITED
Traffic: BA CONSULTING GROUP LTD
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Client
Rakely Eglington Corporate Centre, Limited Partnership

Project
40 RAKELY COURT, TORONTO, ON, M9C 5A5

Drawing Title
LEVEL 6

Scale
1: 400
Project No.
ONBL 18-0225
Drawing No.
A20-06

1 A20-06 LEVEL 6 SCALE: 1: 400

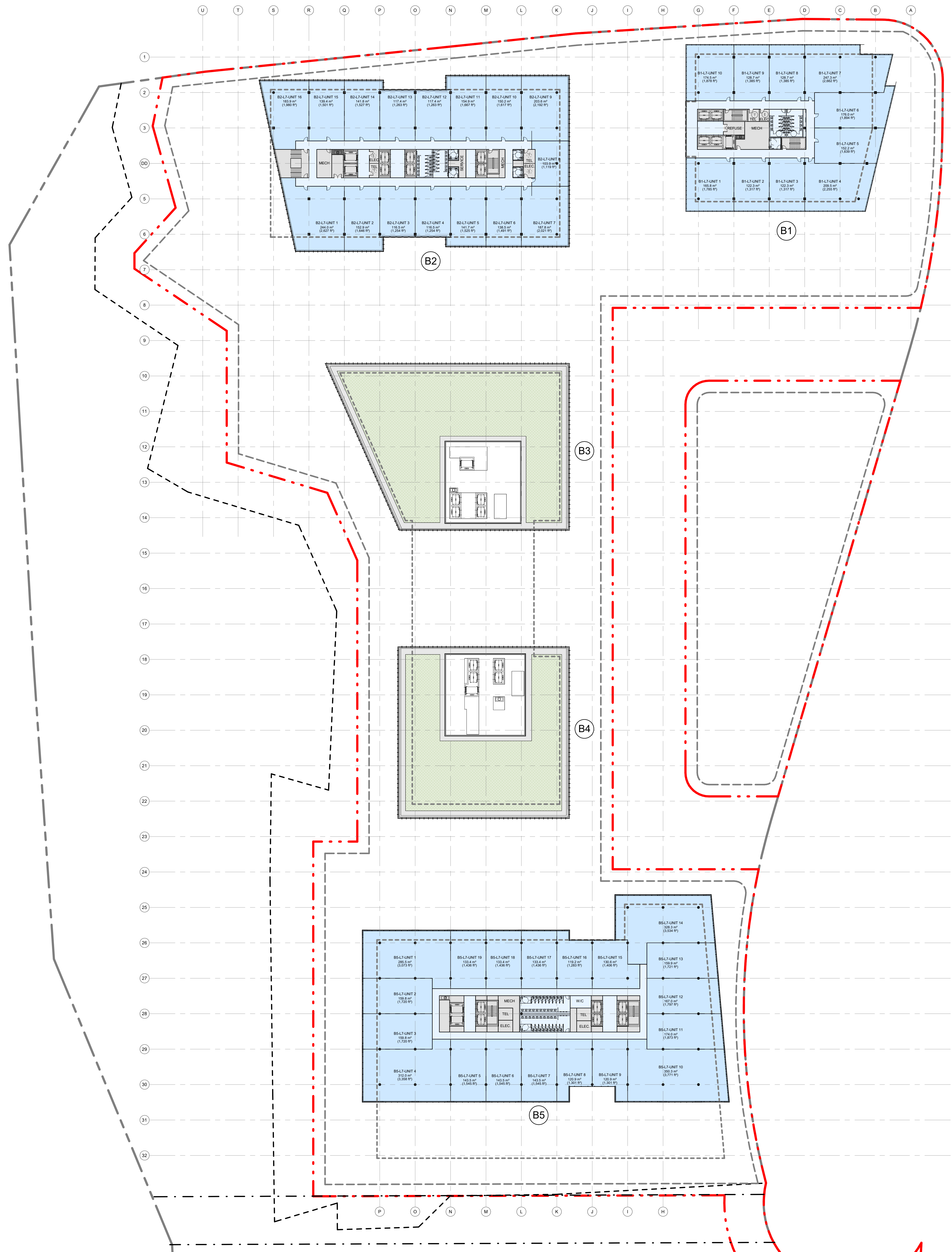
NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

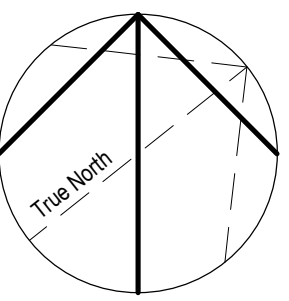
NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

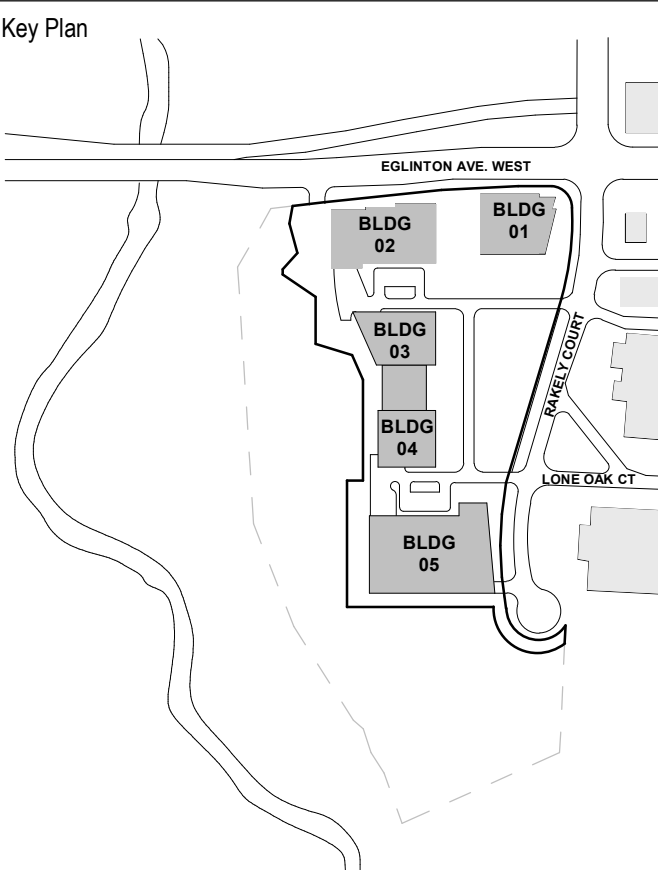
OFFICES
OFFICE CIRCULATION
REFUSE
ELEVATORS
STAIRS
SERVICE
MECH
ELEC/TEL
SHOWERS
WASHROOMS



DATE	ISSUED FOR
2018-06-25	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT



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Consultants	
Civil:	R.J. BURNSIDE & ASSOCIATES LIMITED
Landscape:	JANET ROSENBERG & STUDIO INC.
Architecture:	NORR ARCHITECTS AND ENGINEERS LIMITED
Structural:	NORR ARCHITECTS AND ENGINEERS LIMITED
Mechanical:	NORR ARCHITECTS AND ENGINEERS LIMITED
Electrical:	NORR ARCHITECTS AND ENGINEERS LIMITED
Traffic:	BA CONSULTING GROUP LTD
Planning:	URBAN STRATEGIES INC.
Consultant:	GABRIEL FAIN ARCHITECTS INC.



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Client
Rakely Eglinton Corporate
Centre, Limited Partnership

Project
40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Drawing Title
LEVEL 7

Scale
1 : 400

Project No. ONBL 18-0225

Drawing No. A20-07

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIPLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

- PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE.
- PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE.
- PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE.
- PROJECT WEST: 10m SETBACK FROM THE TREE CANOPY OR AS NEGOTIATED WITH THE TRCA TO ESTABLISH THE PROPOSED RAVINE SIDE PROPERTY LINE. 3m SETBACK FROM THIS PROPOSED PROPERTY LINE.
- PROPOSED PUBLIC ROAD: 0 m SETBACK BELOW GRADE. 3m SETBACK TO ABOVE GRADE.

EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #
PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

VEHICULAR ENTRANCE TO PARKING GARAGE

LOAD

ENT

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

PARKING GATE

SIAMESE WATER CONNECTION

HYDRANT AND VALVE

SANITARY MANHOLE

STORM MANHOLE

CATCH BASIN MANHOLE

VALVE & BOX

GARBAGE CHUTE REFUSE

NOTE: BIRD DETERRENT VISUAL MARKERS REQUIRED TO BE ON ALL EXTERIOR GLAZING WITHIN THE FIRST 12M OF THE BUILDING ABOVE GRADE.

BIRD DETERRENT MARKERS TO EXTEND TO COVER UP TO 4TH FLOOR 169.6 M ELEVATION OR 17.6M ABOVE AVERAGE FINISH GRADE

MINIMUM DIAMETER OF 5MM AT A MAXIMUM SPACING OF 50MM X 50MM

4M INFRONT OF LANDSCAPE FEATURES ON TERRACE

750

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

1700

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

3200

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

4400

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DIMIZING WALL

The main floor plan of Level 8 is a large, irregularly shaped area defined by a red dashed line representing the proposed property line. The plan is overlaid with a grid of letters (A-U) and numbers (1-32). The building layout includes several units, each labeled with a unit number and its area in square feet and square meters. The units are arranged in a central corridor system. The plan also shows setbacks from the property lines and various structural elements like walls and fences. The building is labeled with 'B1', 'B2', 'B3', 'B4', and 'B5' in circles. The plan includes a detailed section of the building showing the internal layout of the units and the central corridor system. The units are arranged in a central corridor system. The plan also shows setbacks from the property lines and various structural elements like walls and fences. The building is labeled with 'B1', 'B2', 'B3', 'B4', and 'B5' in circles. The plan includes a detailed section of the building showing the internal layout of the units and the central corridor system.

DATE

ISSUED FOR

2022-10-03

ZONING BY-LAW AMENDMENT

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The Key Plan shows the location of the building on the site. It includes a map of the site with the building footprint highlighted. The map shows the building's location relative to the surrounding streets and other buildings. The building is labeled 'BLDG 01' and 'BLDG 02'. The map also shows the location of the building relative to the surrounding streets and other buildings.

Consultants	R.J. BURNSIDE & ASSOCIATES LIMITED
Civil:	JANET ROSENBERG & STUDIO INC.
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The professional seal of the Architect is shown. It is a circular seal with the text 'GABRIEL FAIN ARCHITECTS INC.' around the perimeter. The seal is stamped in blue ink.

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Client

Rakely Eglinton Corporate
Centre, Limited Partnership

Project

40 RAKELY COURT,
TORONTO, ON, M9C 5A5

Drawing Title

LEVEL 8

Scale	1 : 400
Project No.	ONBL 18-0225
Drawing No.	A20-08

LEGEND

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

DRIFLINE AS STAKED BY TRCA STAFF ON OCT 9TH 2018

SETBACKS

- PROJECT NORTH: 3m SETBACK TO EGLINTON AVE PROPERTY LINE
- PROJECT EAST: 1m SETBACK TO RAKELY COURT PROPERTY LINE
- PROJECT SOUTH: 3m SETBACK FROM EXISTING EASEMENT FORMING PROPOSED PROPERTY LINE
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EASEMENT

FIRE TRUCK ROUTE (12m TURNING RADIUS)

FOUNDATION LINE BELOW

PHASE #
PHASE #

INFILTRATION AREA. SEE SHEET A00-05 FOR AREA PER PHASE

STRUCTURAL RETAINING WALL WITH MIN. 920mm GUARD RAIL WHERE GRADE DIFFERENCE LARGER THAN 600mm

STRUCTURAL RETAINING WALL WITH 1200mm FENCE

B#

VEHICULAR ENTRANCE TO PARKING GARAGE

LOAD

ENT

MAIN BUILDING ENTRANCE

TRAFFIC LIGHT

BICYCLE SIGNAL

1200mm PERIMETER FENCE

PARKING GATE

SIAMESE WATER CONNECTION

HYDRANT AND VALVE

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GARBAGE CHUTE REFUSE

BUILDING USAGE LEGEND

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STAIRS

SERVICE

MECH

ELEC/TEL

SHOWERS

WASHROOMS

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NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

AREA CALCULATED FROM OUTSIDE OF GLASS

AREA CALCULATED FROM CENTRE OF DMIZING WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL

1
A20-09

LEVEL 9
SCALE: 1 : 400

DATE	ISSUED FOR
2018-06-26	ZONING BY-LAW AMENDMENT
2021-01-15	ZONING BY-LAW AMENDMENT
2022-10-03	ZONING BY-LAW AMENDMENT

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Client
Rakely Eglinton Corporate Centre, Limited Partnership

Project
40 RAKELY COURT, TORONTO, ON, M9C 5A5

Drawing Title
LEVEL 9

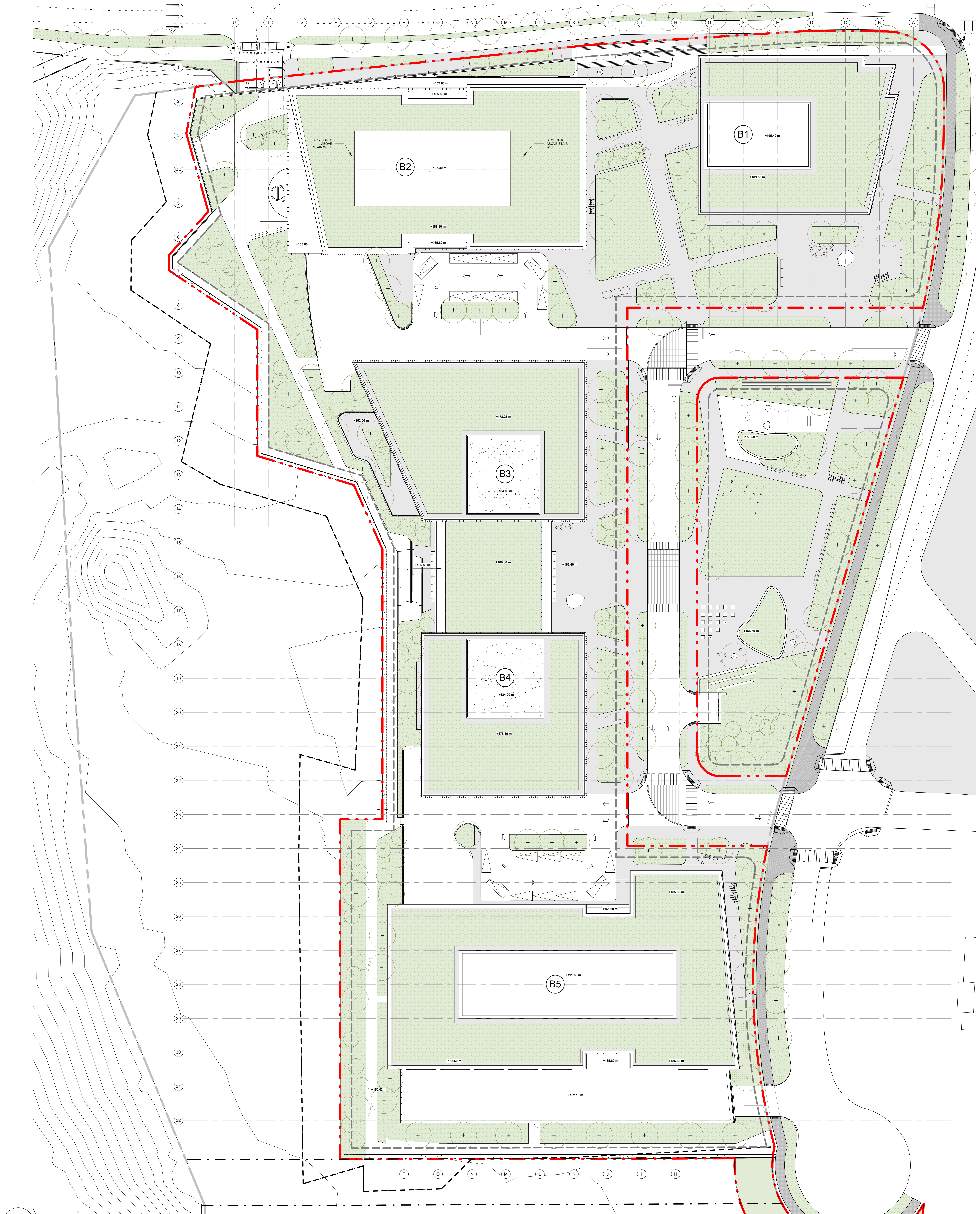
Scale	1 : 400
Project No.	ONBL 18-0225
Drawing No.	A20-09

NOTE: 550 MM TO THE EDGE OF SLAB/ 750 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 1500 MM TO THE EDGE OF SLAB/ 1700 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 3000 MM TO THE EDGE OF SLAB/ 3200 MM TO THE EXTERIOR OF CURTAIN WALL

NOTE: 4200 MM TO THE EDGE OF SLAB/ 4400 MM TO THE EXTERIOR OF CURTAIN WALL



Scale	1 : 400
Project No.	ONBL 18-0225
Drawing No.	A20-10